

# SHERWOOD PLACE RENOVATION

## PACKAGE 1: FLOORS 3, 4, 6, 7, 8, 9 AND BUILDING FIRE PROTECTION

1900 ALBERT STREET, REGINA, SASKATCHEWAN

### LIST OF DRAWINGS

ARCHITECTURAL	
A1.0R	TITLE PAGE SCHEDULES
A1.1R	TYPICAL DEMOLITION PLAN: FLOORS 3, 4, 6, 7, 8, 9 TYPICAL DEMOLITION CEILING PLAN: FLOORS 3, 4, 6, 7, 8, 9 TYPICAL FLOOR PLAN: FLOORS 3, 4, 6, 7, 8, 9 TYPICAL REFLECTED CEILING PLAN: FLOORS 3, 4, 6, 7, 8, 9 TYPICAL FINISH PLAN: INTERIOR ELEVATIONS MILLWORK DETAILS
A1.2	DEMOLITION: THIRD AND FOURTH FLOOR PLANS + REFLECTED CEILING PLANS
A1.3	DEMOLITION: SIXTH AND SEVENTH FLOOR PLANS + REFLECTED CEILING PLANS
A1.4	DEMOLITION: EIGHTH AND NINTH FLOOR PLANS + REFLECTED CEILING PLANS
A2.1	THIRD, FOURTH AND SIXTH FLOOR PLANS + REFLECTED CEILING PLANS
A2.2	SEVENTH, EIGHTH AND NINTH FLOOR PLANS + REFLECTED CEILING PLANS
MECHANICAL	
M1.1	FLOOR PLANS: MECHANICAL DEMOLITION
M2.1	MECHANICAL FIRE PROTECTION PLUMBING VENTILATION
M3.1	MECHANICAL SPECIFICATIONS EQUIPMENT SCHEDULE
ELECTRICAL	
E1.1	LIGHTING AND POWER SYSTEMS PLANS LEVELS 3, 4, 6, 7, 8, 9
E2.1	MECHANICAL SCHEDULE PANEL SCHEDULE
E3.1	ELECTRICAL SPECIFICATIONS

### GENERAL NOTES

1. ALL DRAWINGS ARE THE PROPERTY OF THE CONSULTANT. NO REPRODUCTION MAY BE MADE WITHOUT THE WRITTEN CONSENT OF THE CONSULTANT AND INDICATED AS SUCH ON DRAWING.
2. ALL DIMENSIONS ARE METRIC UNLESS OTHERWISE NOTED.
3. THIS DRAWING SHALL NOT BE SCALED. FOLLOW GIVEN DIMENSIONS ONLY.
4. THE CONTRACTOR SHALL SATISFY HIMSELF THAT ALL DIMENSIONS, DATUMS AND INFORMATION SHOWN ARE CORRECT. VERIFY ALL DIMENSIONS ON SITE.
5. DIMENSIONS ARE TO CENTER OF STUD WALLS, FACE OF POURED CONCRETE, CORNER BLOCK OR STRUCTURE UNLESS OTHERWISE NOTED.
6. PRIOR TO COMMENCEMENT OF WORK, REPORT ANY DISCREPANCIES TO THE CONSULTANT. VARIATIONS AND MODIFICATIONS TO WORK SHOWN WILL NOT BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE CONSULTANT.
7. ALL PENETRATIONS THROUGH ANY EXTERIOR WALL OR CEILING SPACE MUST HAVE A CONTINUOUS SEAL, VARIOUS BARRIERS TO BE CONTINUOUS THROUGHOUT.
8. ALL CONSTRUCTION TO BE DONE IN ACCORDANCE WITH THE NATIONAL BUILDING CODE OF CANADA AND LOCAL CODES AND BYLAWS.
9. PROVIDE SOLID BLOCKING IN ALL WALLS WHERE BUILT IN ITEMS OR MILLWORK ARE NOTED ON THE PLANS.
10. PRODUCTS LISTED ARE NOT PROPRIETARY. APPROVED EQUALS CONSIDERED IN ALL CASES.
11. CONFIRM ALL EXISTING FLOOR HEIGHTS PRIOR TO CONSTRUCTION OF NEW STAIR TOWER. FLOOR HEIGHTS ARE FROM EXISTING DRAWINGS AND NEED TO BE CONFIRMED.

### SYMBOL LEGEND

NEW CONSTRUCTION KEYNOTE	REFERENCE TO WALL & SECTION DETAILS
DEMOLITION KEYNOTE	REFERENCE TO ENLARGED DETAIL
INTERIOR / EXTERIOR FINISHES	TITLE SCALE FROM TO TITLE SCALE
WINDOW UNIT NUMBER	REFERENCE TO MULTIPLE INTERIOR ELEVATIONS
DOOR NUMBER BY CORRESPONDING ROOM AND LETTER DESIGNATES SPECIFIC DOOR	REFERENCE TO SINGLE INTERIOR ELEVATION
WALL, FLOOR & ROOF TYPE ASSEMBLY	OBJECT BREAK LINES
EQUIPMENT INDICATOR	ELEVATION INDICATOR
REVISION: ADDENDUM INDICATOR AND LOCATION CLOUD	
RM NAME #1 RM NAME #2 RM NAME #3 AREA	CEILING FINISH AND FINISH ELEVATION
TYPE IDENTIFICATION	
ELEVATION	
DESCRIPTION	

### PARTITION TYPES

TO US STRUCTURE	16 GYPSUM WALL BOARD (PAINT)
TO US STRUCTURE	92 STEEL STUDS @ 400mm
TO US STRUCTURE	16 GYPSUM WALL BOARD (PAINT)
TO US STRUCTURE	16 GYPSUM WALL BOARD ON EXISTING STEEL STUD FRAMING

### WALL LEGEND

EXISTING WALL TO REMAIN
WALL TO BE REMOVED
NEW WALL
FIRE SEPARATION WITH 1 HR FRR
EXISTING DOOR TO REMAIN
EXISTING DOOR TO BE REMOVED
NEW DOOR

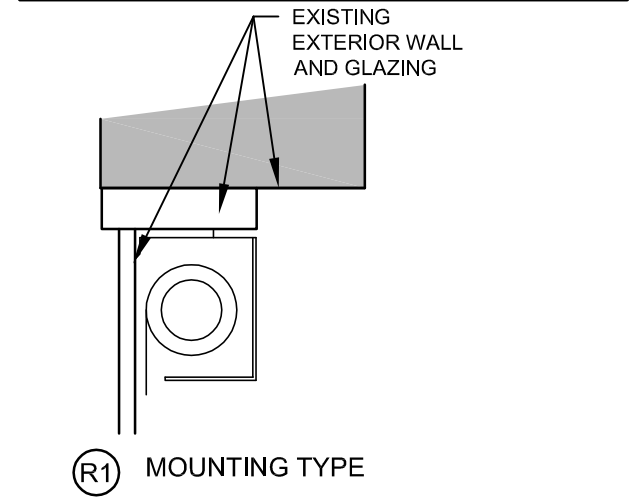
### STANDARD ABBREVIATIONS

ACT	ACROUSTIC CEILING TILE	GA	GAUGE
ABF	ABOVE FINISHED FLOOR	GWB	GYPSUM WALL BOARD
AVG	AVERAGE	MECH	MECHANICAL
CS	CORNER GUARD	NOT IN CONTRACT	
CONC	CONCRETE	PB	PUSH BUTTON
CW	COMPLETE WITH	PL	PLASTIC LAMINATE
DN	DOWN	STRUCT	STRUCTURAL
EL	ELEVATION	TYP	TYPICAL
ELEC	ELECTRICAL	US	UNDERSIDE
FD	FLOOR DRAIN	W	WITH
FHC	FIRE HOSE CABINET	WC	WATER CLOSET

### FINISHES GENERAL NOTES

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5. PRIOR TO COMMENCEMENT OF WORK, REPORT ANY DISCREPANCIES TO THE CONSULTANT. VARIATIONS AND MODIFICATIONS TO WORK SHOWN WILL NOT BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE CONSULTANT.
6. EXISTING FLOOR TO BE PREPARED, LEVELED AND MADE READY TO RECEIVE NEW FLOOR FINISH PER APPROPRIATE MANUFACTURER'S INSTRUCTIONS.
7. ALL FLOOR AND PARTITION FINISHES TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS. CONTRACTOR TO RECEIVE WRITTEN CERTIFICATION FROM MANUFACTURER'S REPRESENTATIVE THAT FLOOR SUBSTRATE IS IN SUITABLE CONDITIONS TO MAINTAIN MANUFACTURER WARRANTIES.
8. WHEN TWO FLOORING FINISHES MEET AT A DOORWAY, JOINT TO BE COVERED WHEN DOOR IS IN CLOSED POSITION.
9. FOR ALL GYPSUM BOARD PARTITIONS, CONTRACTOR TO ENSURE TO INCLUDE IN SCOPE OF WORK USE ONE COAT PRIMER AND A MINIMUM TWO COATS OF PAINT PER MANUFACTURER'S INSTRUCTIONS. SOME LIGHT COLOURS MAY REQUIRE ADDITIONAL COAT TO ENSURE UNIFORM COVERAGE. ALL DARK COLOURS TO RECEIVE A MINIMUM OF THREE COATS. PROVIDE SMOOTH AND UNIFORM COVERAGE AND FINISH. THIS APPLIES TO ALL PARTITIONS, DOORS AND FRAMES.
10. ALL EXISTING WINDOW RADES TO BE PAINTED. ENSURE APPROPRIATE PAINT AND PRIMER FOR METAL APPLICATION IS USED.

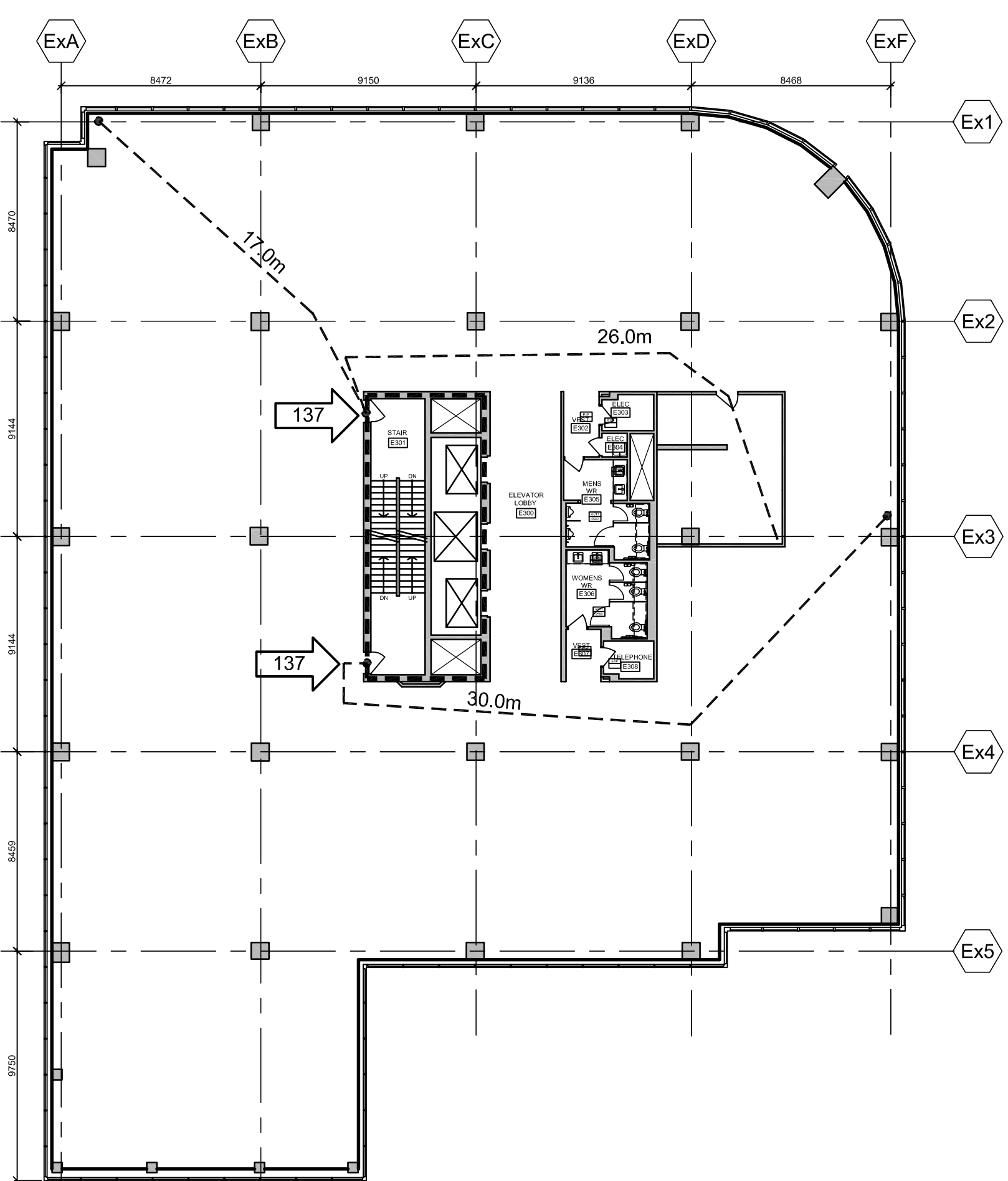
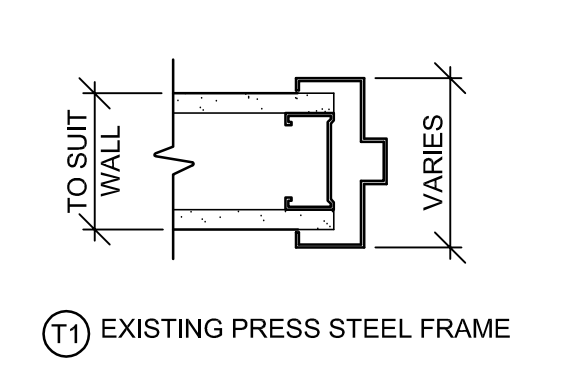
### ROLLER SHADE DETAIL



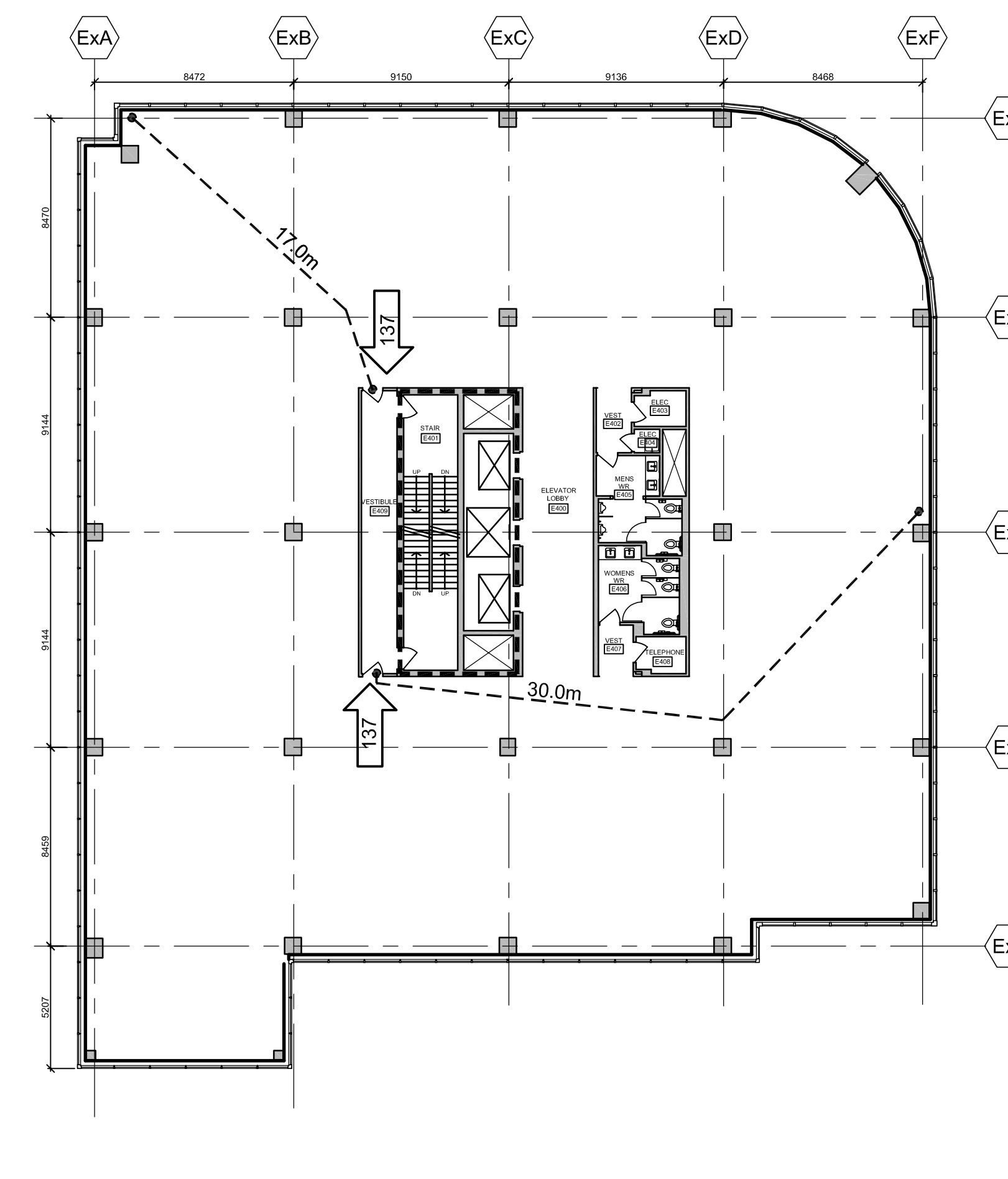
### DOOR TYPES

DOOR TYPES	DOOR FRAME TYPES
(D1) EXISTING PS DOOR (TO BE PAINTED)	(F1) EXISTING PS FRAME (TO BE PAINTED)

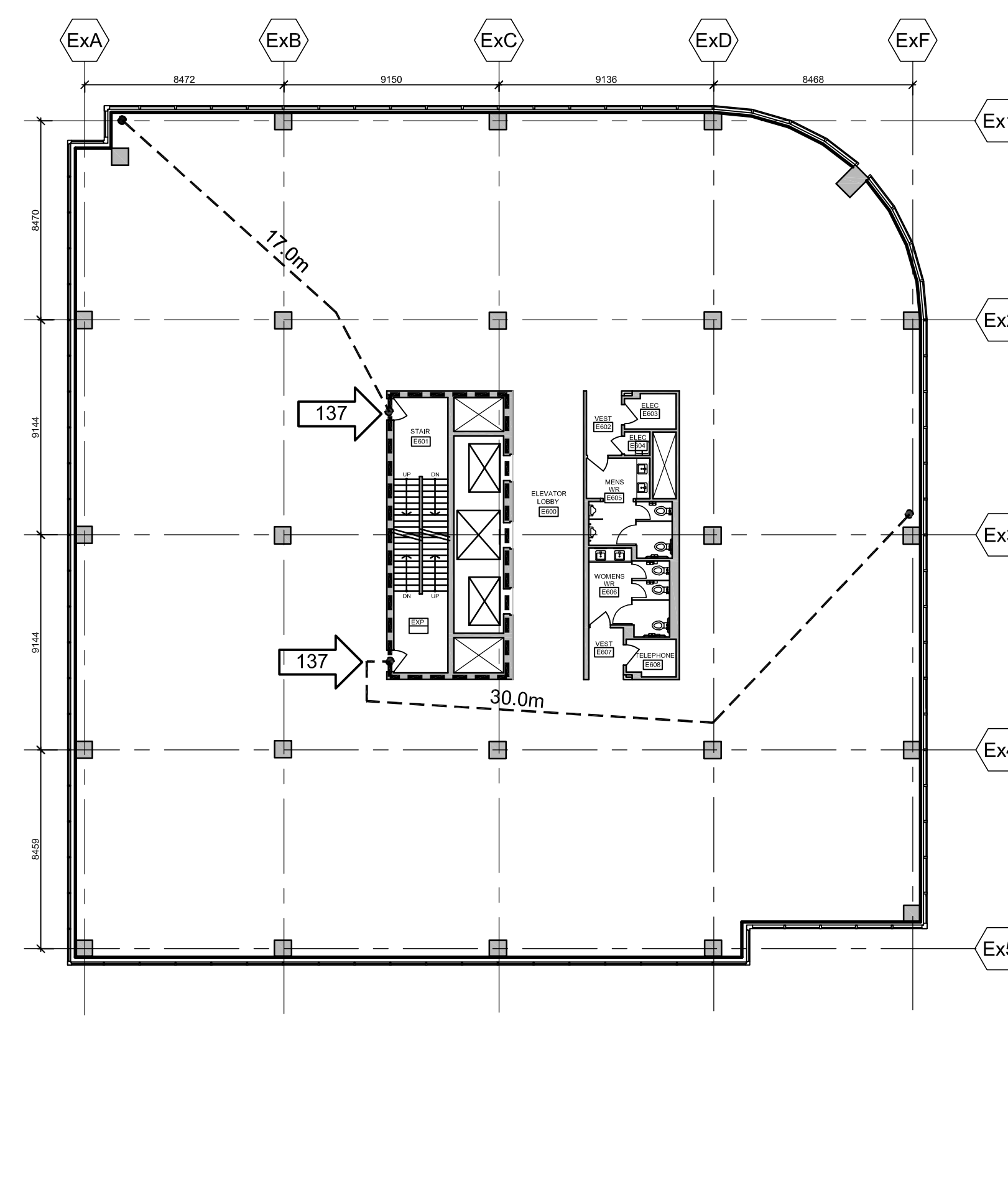
### DOOR FRAME DETAIL



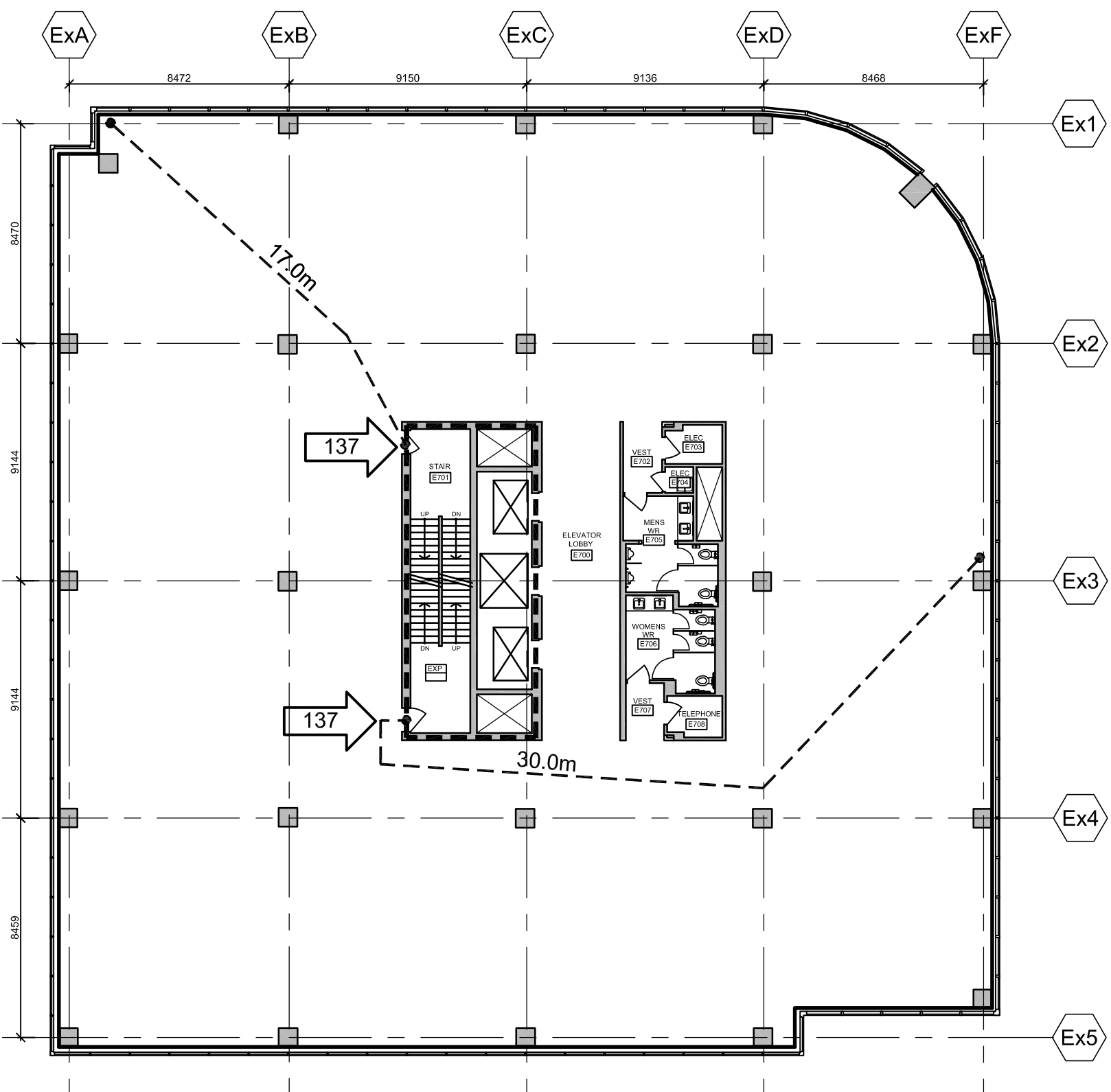
2 THIRD FLOOR KEY PLAN



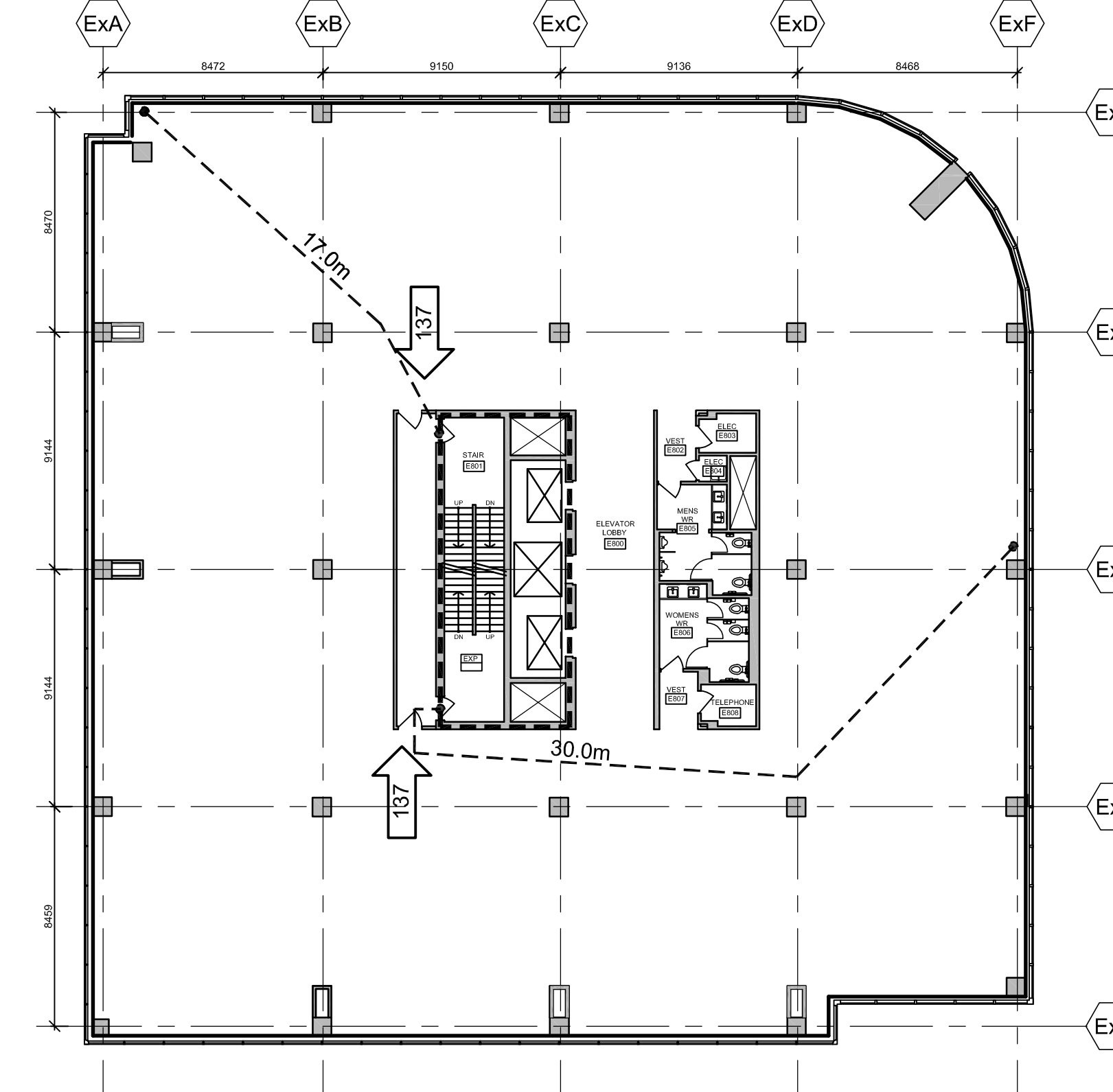
3 FOURTH FLOOR KEY PLAN



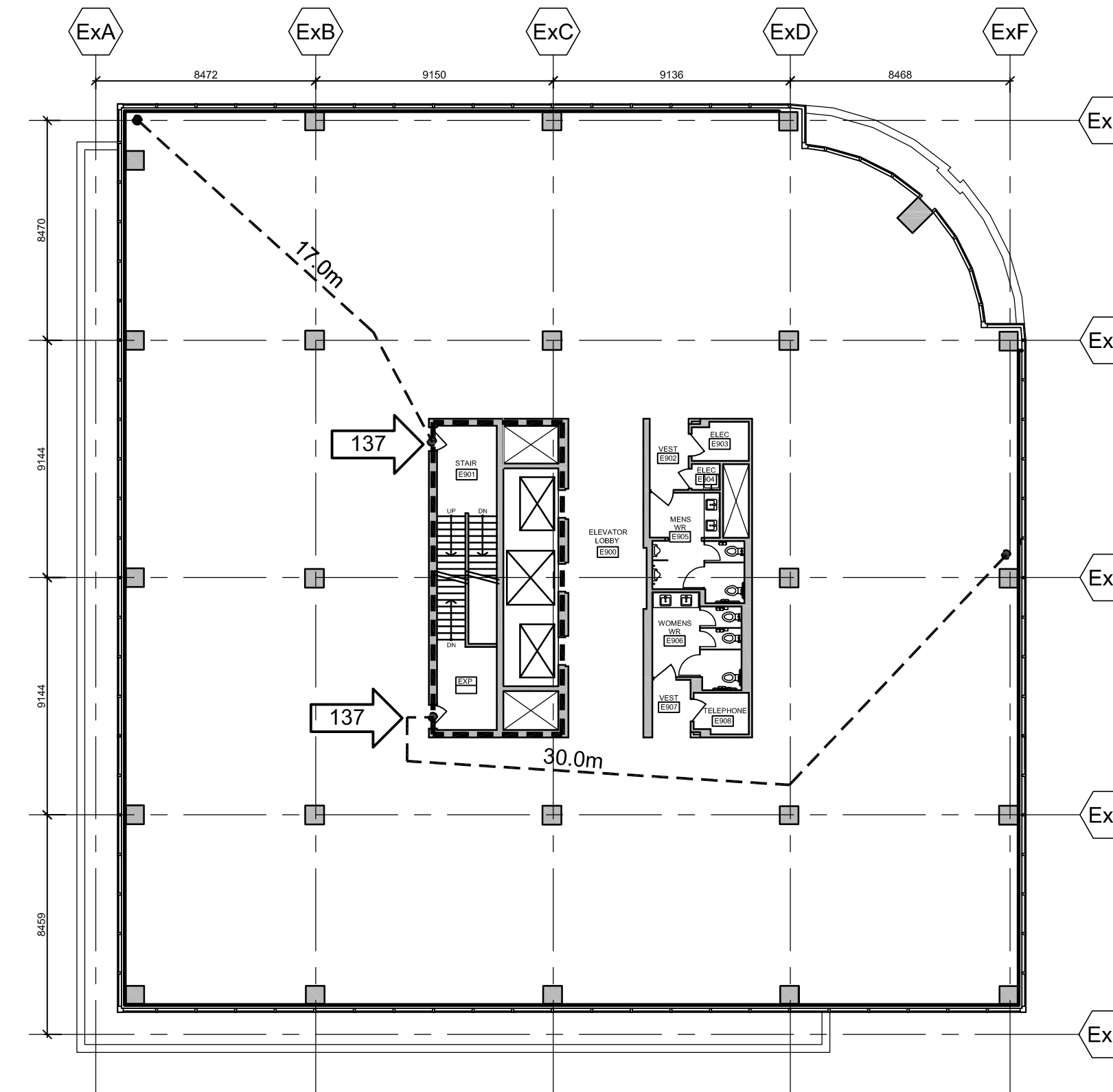
4 SIXTH FLOOR KEY PLAN



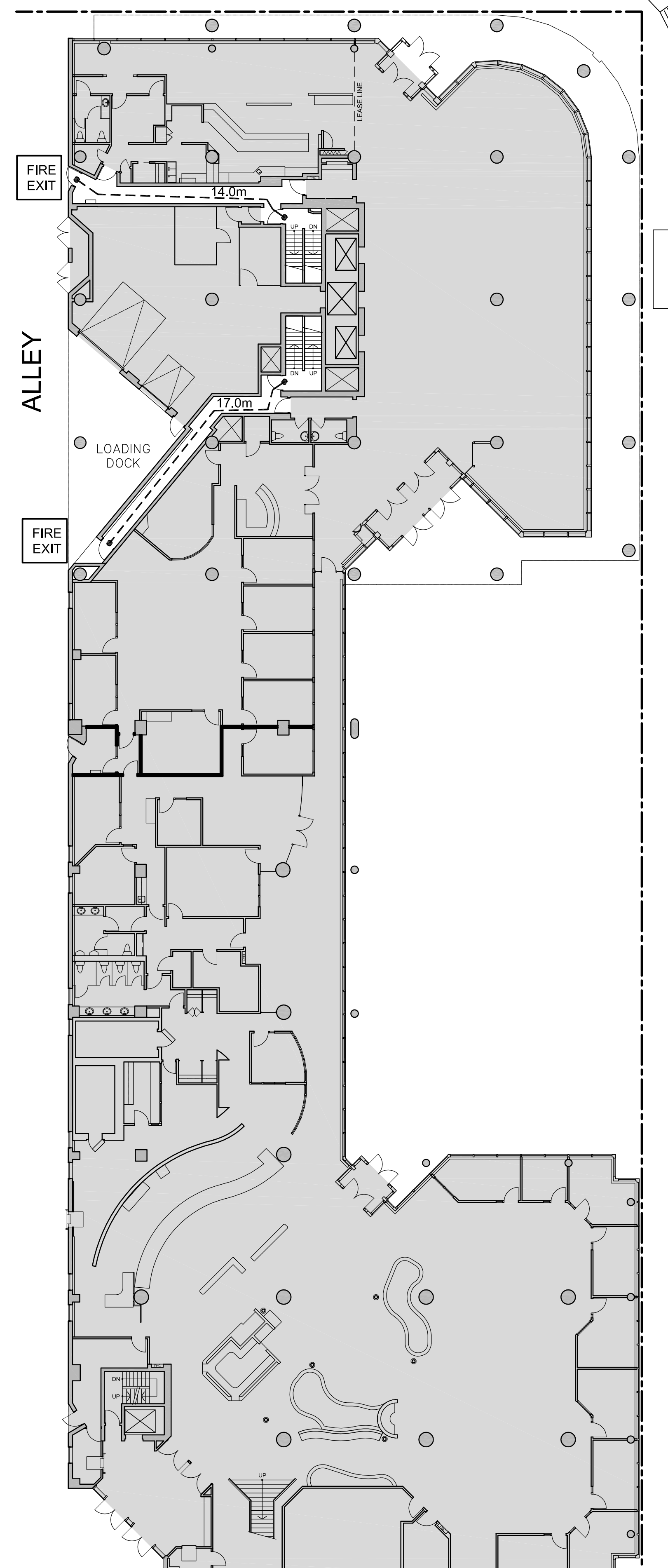
5 SEVENTH FLOOR KEY PLAN



6 EIGHTH FLOOR KEY PLAN



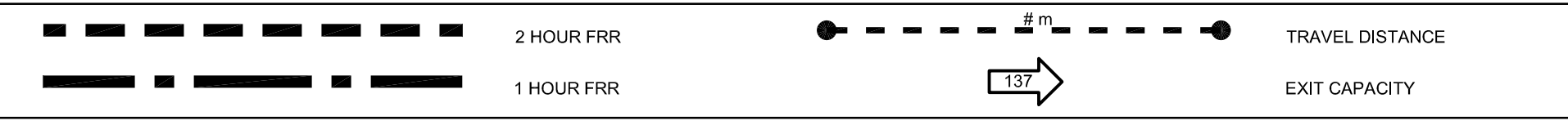
7 NINTH FLOOR KEY PLAN



1 MAIN FLOOR KEY PLAN

### 2015 NATIONAL BUILDING CODE

<b>1. BUILDING INFORMATION</b> 1. STREET ADDRESS: 1900 Albert Street, Regina, SK 2. NUMBER OF STOREYS: TOWER: 9 + 1 STOREY PENTHOUSE 3. NUMBER OF STOREYS: 2 4. AREA (FOOTPRINT): 1100 m <sup>2</sup>	6TH FLOOR Area: 1300 sq m Occupant load: 139 Exit Door Capacity: 915mmB = 137 x two Exit Doors = 274 Exit Stair Capacity: 1100mmB = 137 x two Exit Stairs = 274
<b>2. OCCUPANCY AND CLASSIFICATION (3.1.2)</b> 3.2.2.25, Group D, Any Height, Any Area, Sprinkled (2) Building shall be of noncombustible construction, and a) the building shall be sprinkled throughout, b) floor assemblies shall be fire separation with a fire-resistance rating not less than 2 h, c) mezzanines shall have a fire-resistance rating not less than 1 h, and d) loadbearing walls, columns and arches supporting an assembly shall have a fire-resistance rating not less than that required for the supporting assembly.	7TH FLOOR Area: 1300 sq m Occupant load: 139 Exit Door Capacity: 915mmB = 137 x two Exit Doors = 274 Exit Stair Capacity: 1100mmB = 137 x two Exit Stairs = 274
<b>3. FIRE SEPARATIONS (NBC 3.2.3.3)</b> 1. Occupancy: D 2. Storage (parking) garage 3. Building = personages 4. Mechanical room 5. Floor assemblies 6. Exit stairs and walkways 7. Elevator hoistways 8. Elev. Machine Room 9. Vertical Service Spaces 10. FS at Vert. Service Spaces 11. Public corridor 12. Stairs: 1.5 h fire separation provided 1.5 h fire separation provided 1 h fire separation provided 2 h fire separation provided 2 h fire separation provided 2 h fire separation provided 1 h fire separation provided No fire separation required per 3.3.1.4.(4)(a) No fire separation required per 3.3.1.4.(1) and (3)(a)	8TH FLOOR Area: 1300 sq m Occupant load: 139 Exit Door Capacity: 915mmB = 137 x two Exit Doors = 274 Exit Stair Capacity: 1100mmB = 137 x two Exit Stairs = 274
<b>4. EXITS (NBC 3.4)</b> 3rd Floor Area: 1420 sq m Occupant load: 152 Exit Door Capacity: 915mmB = 137 x two Exit Doors = 274 Exit Stair Capacity: 1100mmB = 137 x two Exit Stairs = 274	9TH FLOOR Area: 1180 sq m Occupant load: 126 Exit Door Capacity: 915mmB = 137 Exit Stair Capacity: 1100mmB = 137
<b>5. HEALTH REQUIREMENTS (NBC 3.7)</b> 3rd, 4th, 6th, 7th, 8th, 9th Floors Female occupants: 2 water closets required; 3 provided (1 Barrier-Free) Male occupants: 2 water closets required; 2 provided (1 Barrier-Free)	10TH FLOOR Area: 1340 sq m Occupant load: 144 Exit Door Capacity: 915mmB = 137 x two Exit Doors = 274 Exit Stair Capacity: 1100mmB = 137 x two Exit Stairs = 274
<b>7. BARRIER-FREE REQUIREMENTS (NBC 3.8)</b> 1. Barrier-free - required Area requiring a B-F path of travel - all floors (not penthouse) Access to parking area - B-F path of travel required to get parking area Barrier-free Washrooms - required every floor.	



NO.	DATE	REVISIONS	BY
1	2018-10-24	REISSUED FOR TENDER	CR
0	2018-10-12	ISSUED FOR TENDER	CR

**PROJECT**  
SHERWOOD PLACE RENOVATION  
PACKAGE 1:  
FLOORS 3, 4, 6, 7, 8, 9

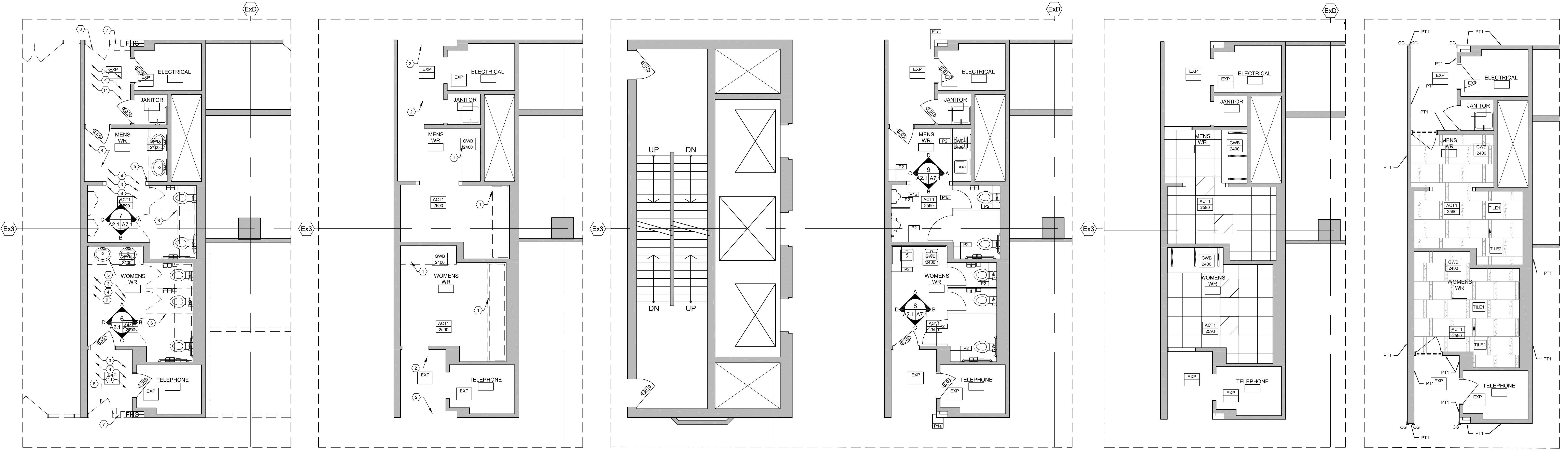
1900 ALBERT STREET  
REGINA, SASKATCHEWAN

**SHEET TITLE**  
TITLE SHEET  
KEY PLANS  
SCHEDULES

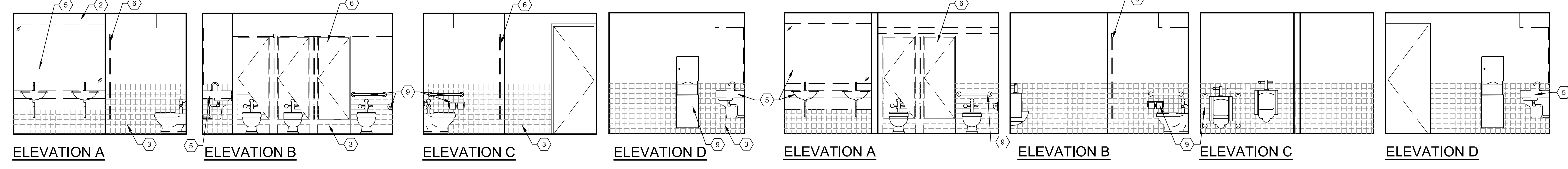
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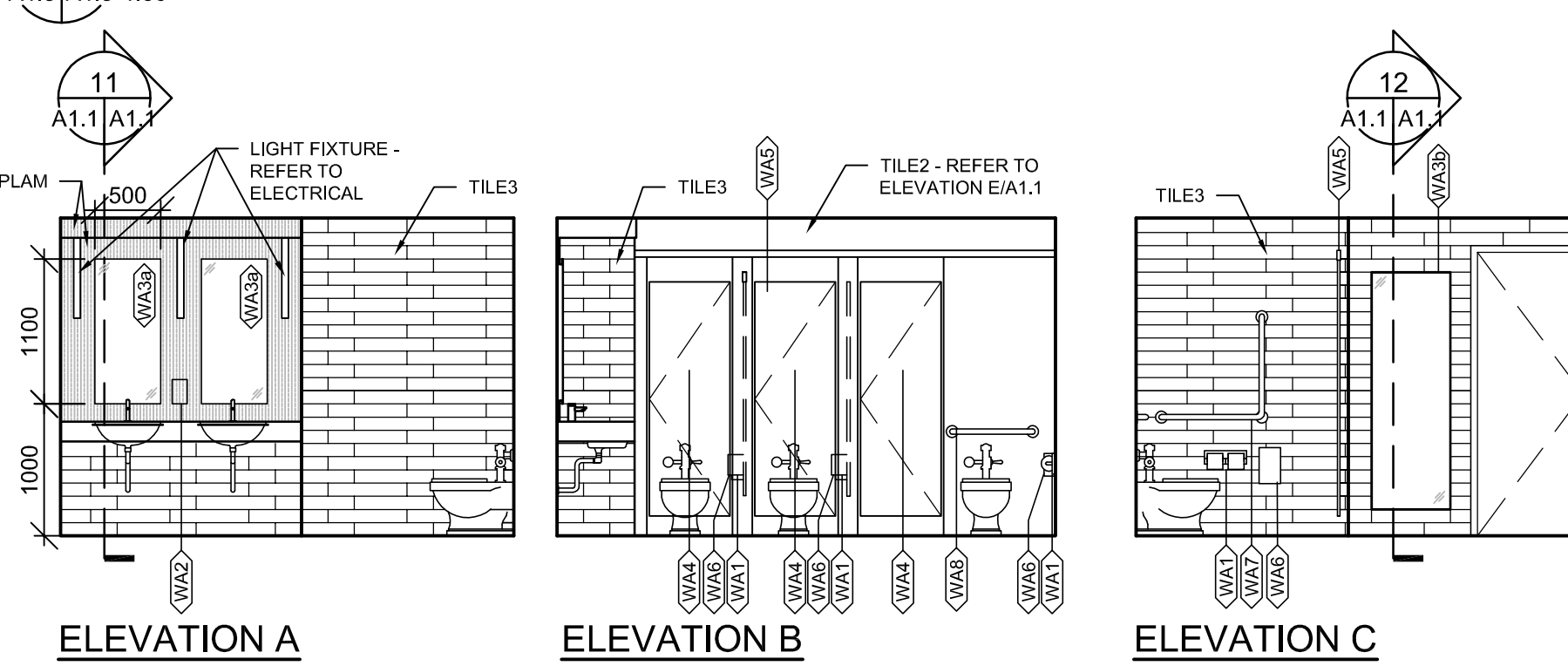




1 TYPICAL DEMOLITION PLAN: FLOORS 3, 4, 6, 7, 8, 9  
2 TYPICAL CEILING DEMOLITION PLAN: FLOORS 3, 4, 6, 7, 8, 9  
3 TYPICAL PLAN: FLOORS 3, 4, 6, 7, 8, 9  
4 TYPICAL CEILING PLAN: FLOORS 3, 4, 6, 7, 8, 9  
5 TYPICAL FINISH PLAN

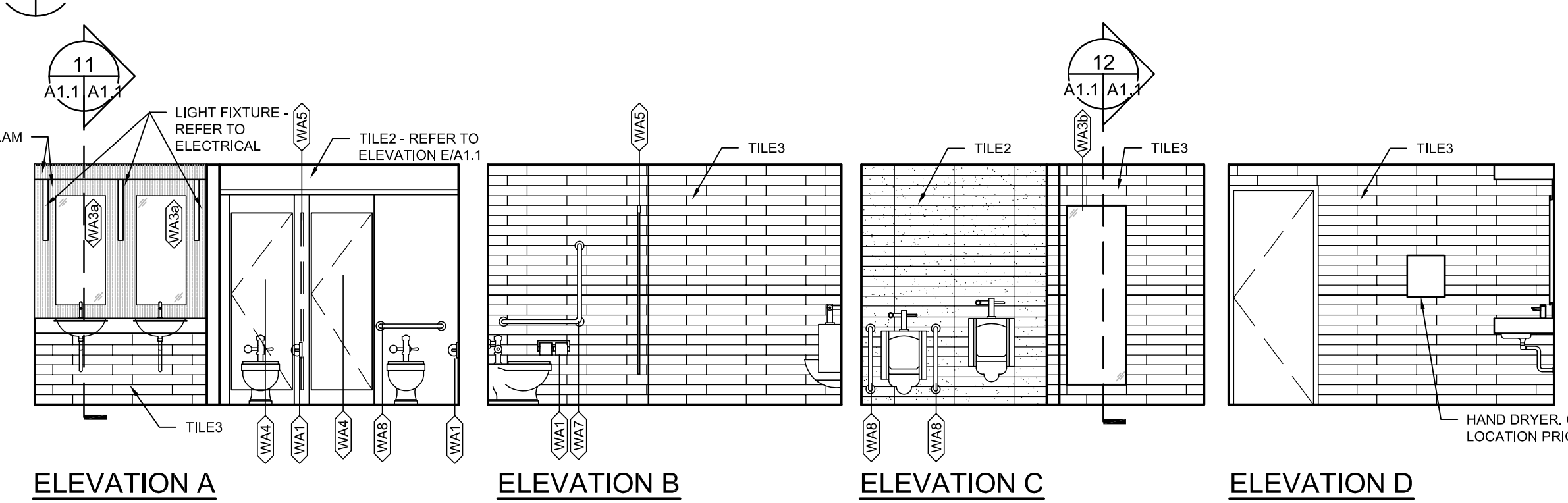


6 WOMEN'S WR: FLOORS 3, 4, 6, 7, 8, 9 (TYPICAL) DEMOLITION



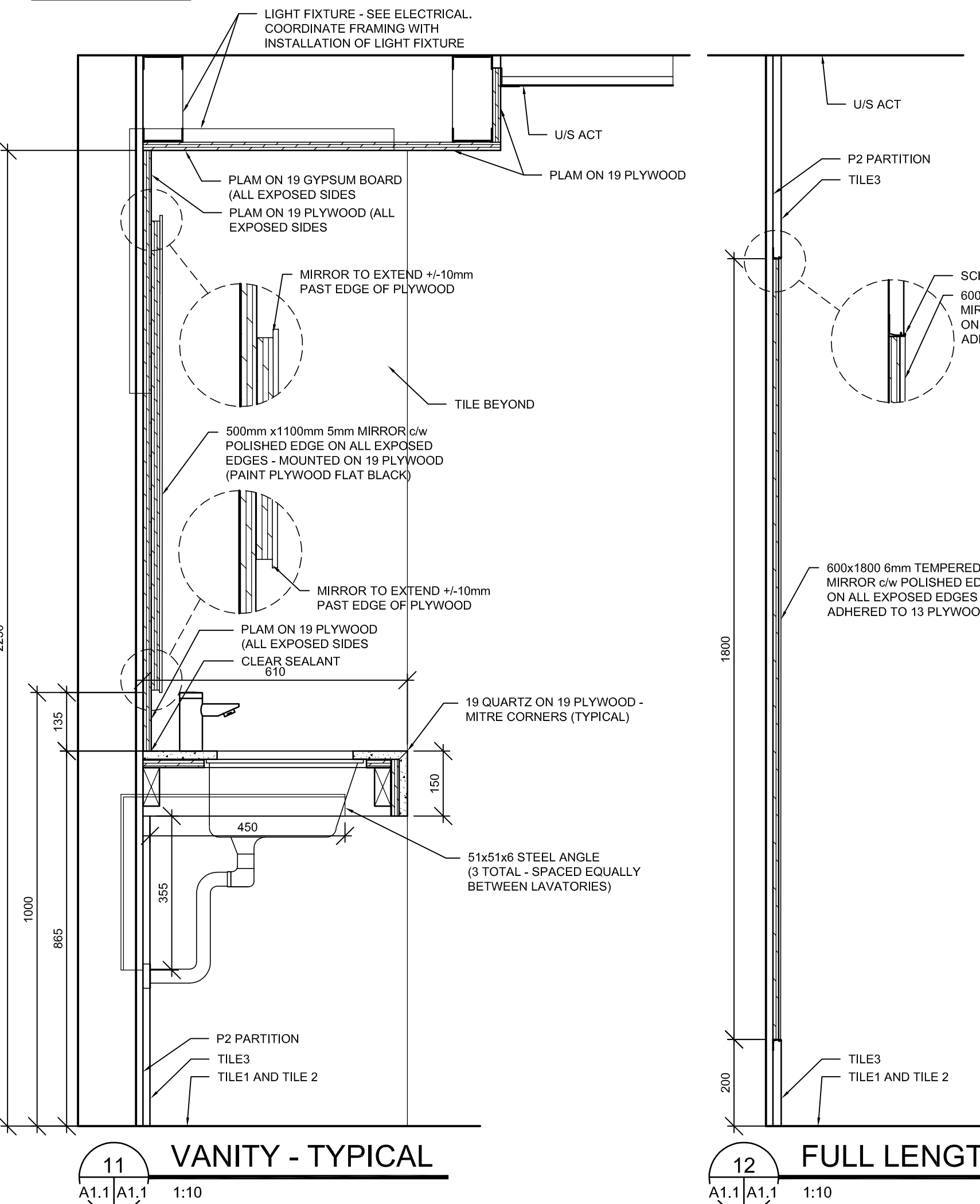
8 WOMEN'S WR: FLOORS 3, 4, 6, 7, 8, 9 (TYPICAL) CONSTRUCTION

7 MENS WR: FLOORS 3, 4, 6, 7, 8, 9 (TYPICAL) DEMOLITION



9 MENS WR: FLOORS 3, 4, 6, 7, 8, 9 (TYPICAL) CONSTRUCTION

<b>DEMOLITION KEYNOTES</b> 1 REMOVE EXISTING EGG CRATE GRILLE AND BULKHEAD 2 REMOVE EXISTING GYPSUM BOARD BULKHEAD 3 REMOVE EXISTING WALL TILE AND GYPSUM BOARD 4 REMOVE EXISTING FLOOR TILE AND BASE 5 REMOVE EXISTING VANITY AND MIRROR 6 REMOVE EXISTING METAL TOILET PARTITIONS 7 REMOVE SECTION OF EXISTING WALL 8 REMOVE EXISTING DOOR, FRAME AND ASSOCIATED HARDWARE 9 REMOVE EXISTING RECESSED AND SURFACE MOUNTED WALL ACCESSORIES. REFER TO WASHROOM ACCESSORY SCHEDULE FOR LIST OF SALVAGED ITEMS. 10 REMOVE EXISTING WALLCOVERING, SEAL, WALL AND APPLY SKIM COAT TO PREPARE FOR NEW PAINT FINISH. 11 REMOVE EXISTING CARPET FINISH AND RUBBER BASE. PREPARE EXISTING CONCRETE SLAB AND APPLY SKIMCOAT TO LEVEL EXISTING SLAB AND PREPARE TO RECEIVE FUTURE FLOOR FINISH. 12 REMOVE EXISTING MILLWORK CABINETRY 13 REMOVE EXISTING SHEET FLOORING 14 REMOVE EXISTING GLASS DOOR/SIDELITE (STOREFRONT GLAZING) 15 REMOVE EXISTING SIDELITE GLAZING AND FRAME 16 REMOVE EXISTING SIDELITE TO REMAIN. PATCH AND REPAIR AS NEEDED AND PREPARE FOR NEW PAINT FINISH. 17 REMOVE EXISTING METAL CORNER GUARDS. 18 REMOVE EXISTING WOOD TRIM 19 REMOVE EXISTING VCT FLOOR TILE 20 REMOVE EXISTING OVERHEAD ROLLING METAL SECURITY GRILLE 21 REMOVE EXISTING MILLWORK 22 REMOVE EXISTING WOOD WALL PANELS. PATCH AND REPAIR SURFACE TO RECEIVE NEW PAINT FINISH. 23 ALL EXISTING RAD CABINETS TO BE PAINTED TO MATCH EXISTING	
<b>GENERAL NOTES</b> 1. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR MECHANICAL AND ELECTRICAL RELATED DEMOLITION WHERE MECHANICAL AND ELECTRICAL FIXTURES ARE REMOVED. PATCH AND REPAIR SURFACES TO ACCEPT NEW FINISHES AS SCHEDULED. 2. ALL SALVAGED ITEMS ARE PROPERTY OF THE OWNER. ALL SALVAGE ITEMS SHALL BE STORED ON SITE AT A PREDETERMINED LOCATION FOR REVIEW BY OWNER. ANY SALVAGE ITEMS NOT ACCEPTED BY THE OWNER ARE THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM SITE. 3. PATCH AND REPAIR ALL SURFACES TO ACCEPT NEW FINISHES AS SCHEDULED. 4. PATCH AND REPAIR EXISTING SURFACES TO REMAIN WHERE ITEMS REMOVED (WALLS / MILLWORK / WALL COVERING / LIGHT FIXTURES / MECH / ETC.).  INDICATES AREA NOT IN CONTRACT.	
<b>CEILING TYPES LEGEND</b> NOTE: CEILING ELEVATIONS ARE INDICATED WITH CEILING TYPE TAGS ON DRAWINGS. ELEVATIONS ARE FROM TOP OF FINISHED FLOOR TO UNDERSIDE OF CEILING FINISH. GWB GYPSUM BOARD CEILING ACT1 ACoustical CEILING TILE, 610mmx610mm, 1-BAR SUSPENSION ACT2 ACoustical CEILING TILE, 610mmx1220mm, 1-BAR SUSPENSION EXP EXPOSED STRUCTURE TO REMAIN AS EXISTING  <b>SYMBOLS LEGEND</b> SUPPLY AIR GRILL EXHAUST AIR GRILL LIGHT FIXTURES EXIT LIGHT FIXTURE  MECHANICAL AND ELECTRICAL SHOWN FOR REFERENCE PURPOSES ONLY. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS.	
<b>WASHROOM ACCESSORIES SCHEDULE</b> NO. DESCRIPTION WAT1 TOILET TISSUE DISPENSER SUPPLIED BY OWNER MOUNT HEIGHT: 800 TO UIS WAT2 SOAP DISPENSER SUPPLIED BY OWNER MOUNT HEIGHT: 1000 TO DISPENSER WAT3 MIRROR CW 100mm POLISHED EDGE - SIZE: 500mm x 1100mm MOUNT HEIGHT: REFER TO DRAWINGS WAT4 MIRROR CW 100mm POLISHED EDGE - SIZE: 500mm x 1100mm MOUNT HEIGHT: REFER TO DRAWINGS WAT5 SINGLE COAT HOOK BORICK B-7027 MOUNT TO INSIDE FACE OF PARTITION DOORS: 1205 TO CENTER WAT6 WASHROOM PARTITIONS ON BRACED LAMINATE PARTITION COLOUR TO BE DETERMINED WAT7 SANITARY NAPKIN DISPOSAL BORICK B-270 (SURFACE MOUNTED) MOUNT HEIGHT: 500 TO UIS WAT8 760 x 760 90° GRAB BAR BORICK B-6968 MOUNT HEIGHT: 900 TO CENTER WAT9 610 GRAB BAR BORICK B-6906 X 24 MOUNT HEIGHT: 900 TO CENTER  NOTE: 1. ALL OWNER SUPPLIED ACCESSORIES ARE TO BE INSTALLED BY CONTRACTOR. OWNER TO APPROVE FINAL INSTALLATION LOCATIONS. 2. CONTRACTOR TO INSTALL BLOCKING FOR ALL WASHROOM ACCESSORIES.	
<b>FINISH LEGEND</b> TILE1 PORCELAIN TILE 600mm x 600mm TILE2 PORCELAIN TILE 100mm x 600mm TILE3 CERAMIC WALL TILE 100mm x 600mm PLAM PLAM ON 19 GYPSUM BOARD ACC FLOOR TRANSITION STRIP	



11 VANITY - TYPICAL

12 FULL LENGTH MIRROR - TYPICAL



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REVISIONS

PROJECT

SHERWOOD PLACE  
RENOVATION  
PACKAGE 1:  
FLOORS 3, 4, 6, 7, 8, 9

1900 ALBERT STREET  
REGINA, SASKATCHEWAN

SHEET TITLE

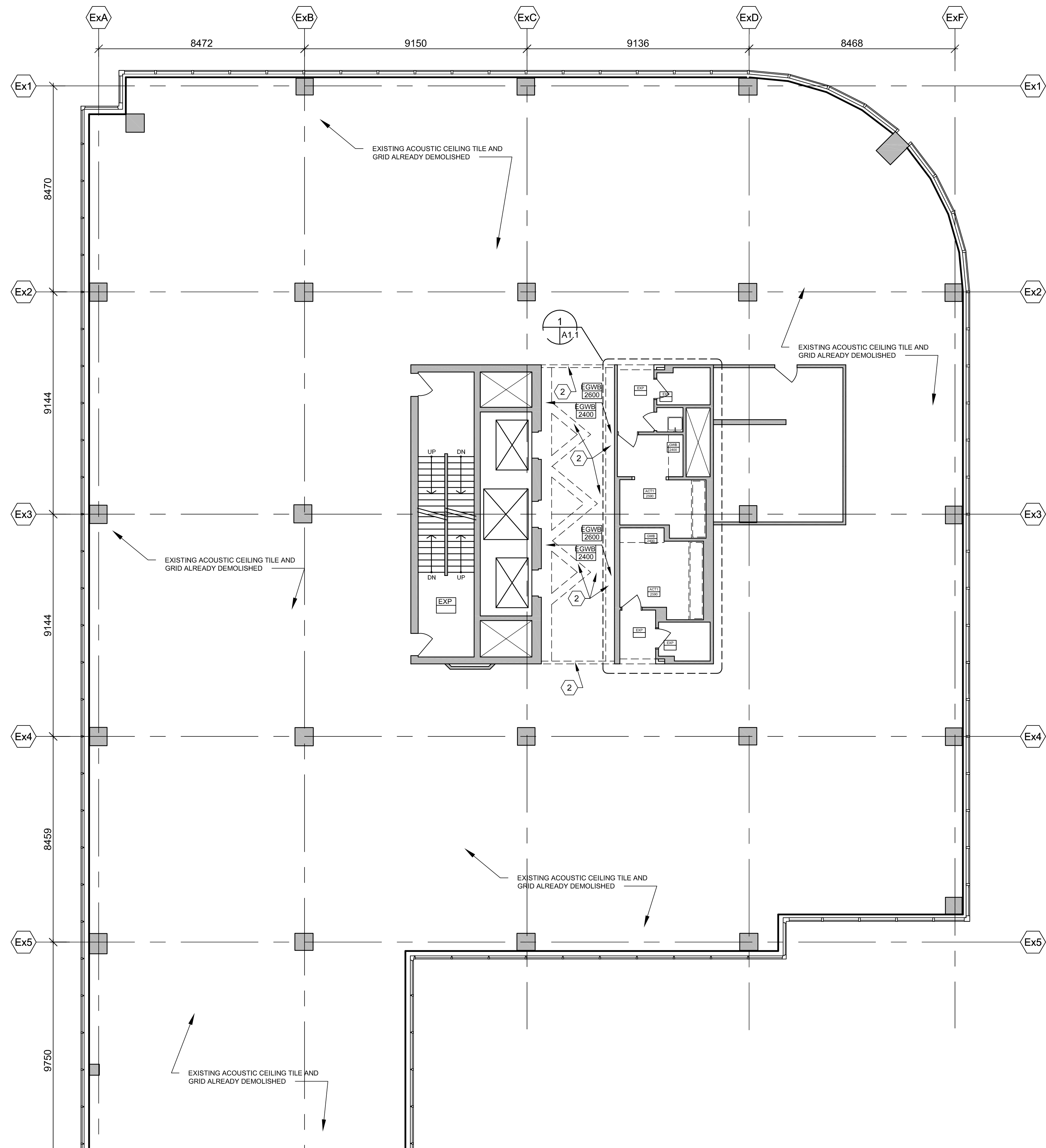
DEMOLITION PLAN &  
DEMOLITION CEILING PLAN  
CONSTRUCTION PLAN &  
REFLECTED CEILING PLAN  
INTERIOR ELEVATIONS  
MILLWORK

DESIGN BY	NG
DRAWN BY	NG
CHECKED	CR
APPROVED	
OWNER	DREAM
SCALE	AS NOTED
DATE	2018-10-24

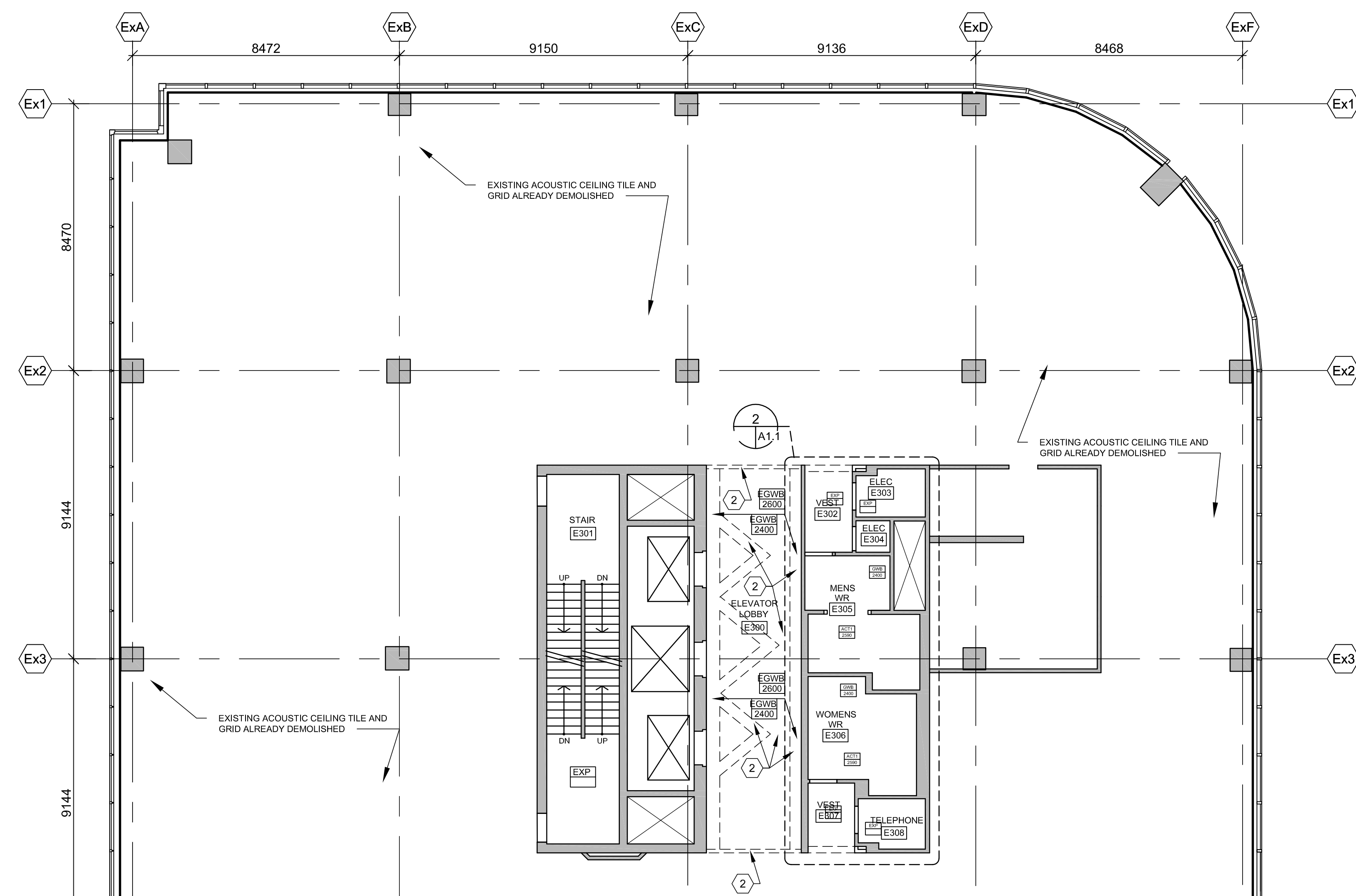
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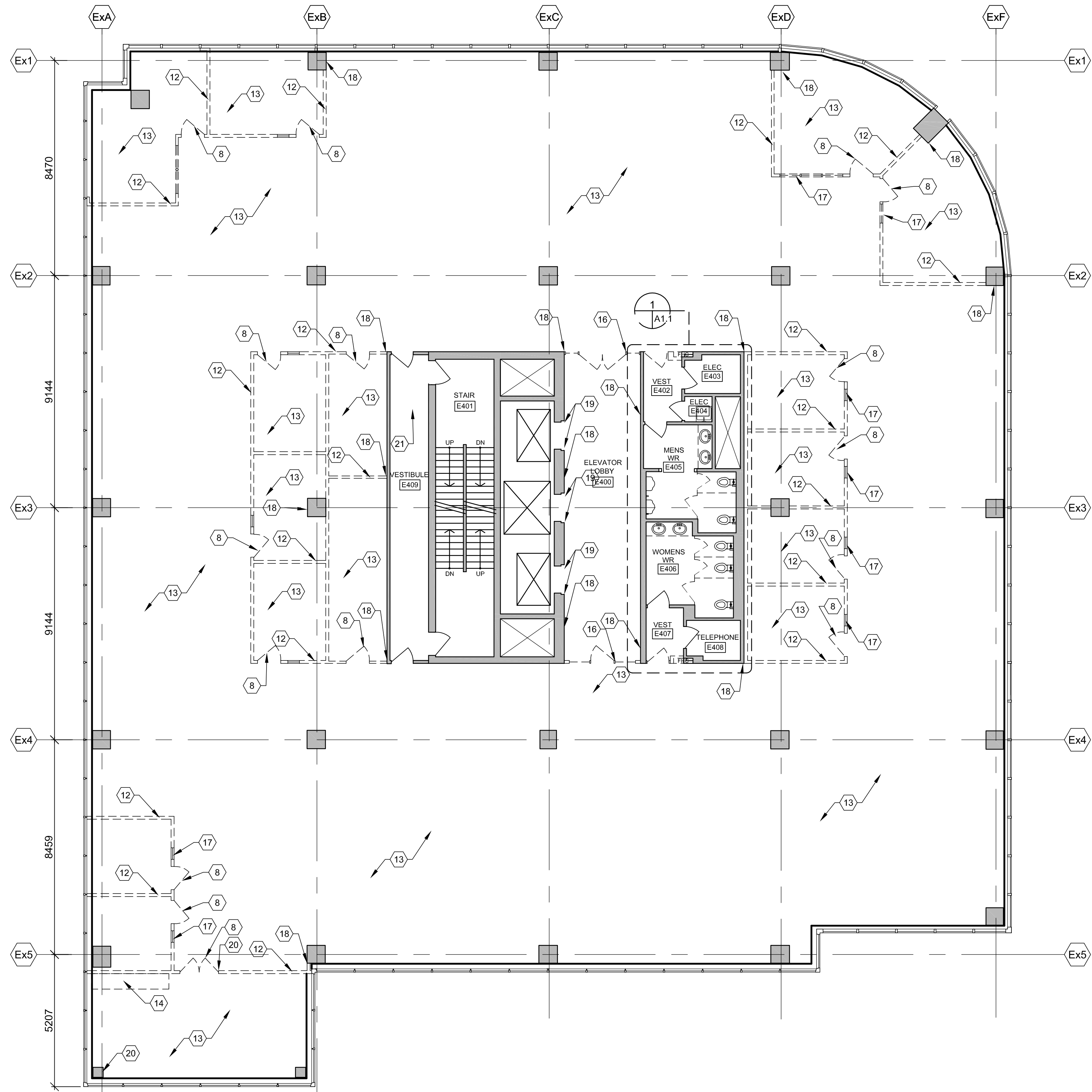




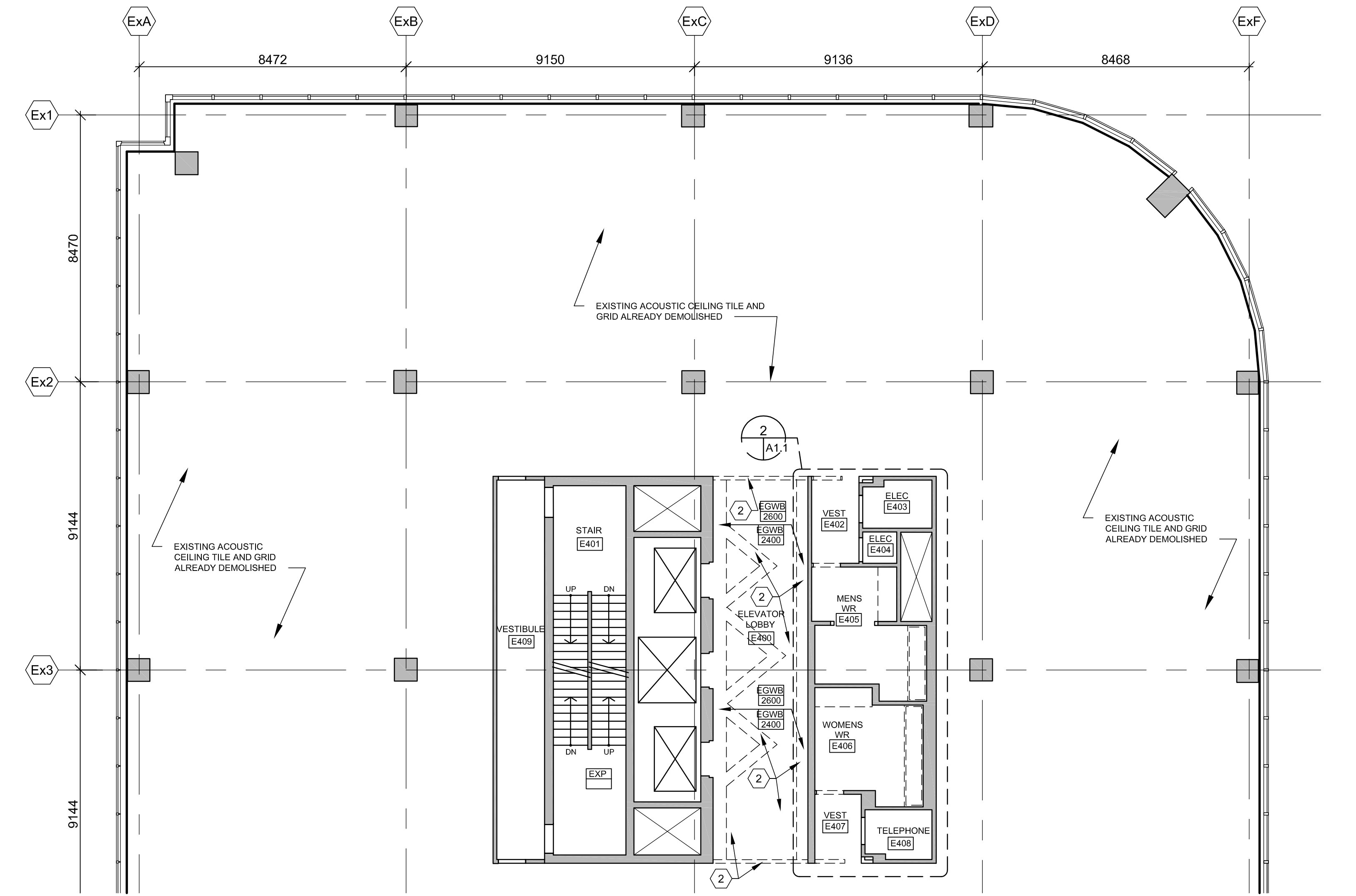
**1 THIRD FLOOR DEMOLITION PLAN**  
A1.2 A1.2 1:100  
NORTH



**2 THIRD FLOOR PARTIAL REFLECTED CEILING PLAN - DEMOLITION**  
A1.2 A1.2 1:100  
NORTH



**3 FOURTH FLOOR DEMOLITION PLAN**  
A1.2 A1.2 1:100  
NORTH



**4 FOURTH FLOOR PARTIAL REFLECTED CEILING PLAN - DEMOLITION**  
A1.2 A1.2 1:100  
NORTH

- DEMOLITION KEYNOTES**
- 1 REMOVE EXISTING EGG CRATE GRILLE AND BULKHEAD
  - 2 REMOVE EXISTING GYPSUM BOARD BULKHEAD
  - 3 REMOVE EXISTING WALL TILE AND GYPSUM BOARD
  - 4 REMOVE EXISTING FLOOR TILE AND BASE
  - 5 REMOVE EXISTING VANITY AND MIRROR
  - 6 REMOVE EXISTING METAL TOILET PARTITIONS
  - 7 REMOVE SECTION OF EXISTING WALL
  - 8 REMOVE EXISTING DOOR, FRAME AND ASSOCIATED HARDWARE
  - 9 REMOVE EXISTING RECESSED AND SURFACE MOUNTED WALL ACCESSORIES. REFER TO WASHROOM ACCESSORY SCHEDULE FOR LIST OF SALVAGED ITEMS
  - 10 REMOVE EXISTING FIRE HOSE CABINET - REFER TO MECHANICAL
  - 11 REMOVE EXISTING WALLCOVERING SEAL WALL AND APPLY SKIM COAT TO PREPARE FOR NEW PAINT FINISH
  - 12 REMOVE EXISTING WALL TO US CEILING
  - 13 REMOVE EXISTING CARPET FINISH AND RUBBER BASE. PREPARE EXISTING CONCRETE SLAB AND APPLY SBR/ACRYL TO LEVEL EXISTING SLAB AND PREPARE TO RECEIVE FUTURE FLOOR FINISH
  - 14 REMOVE EXISTING MILLWORK CABINETRY
  - 15 REMOVE EXISTING SHEET FLOORING
  - 16 REMOVE EXISTING GLASS DOORS/SLIDELITE (STOREFRONT GLAZING)
  - 17 REMOVE EXISTING SIDELITE GLAZING AND FRAME
  - 18 EXISTING CRISSESS BOARD TO REPAIR PATCH AND REPAIR AS NEEDED AND PREPARE FOR NEW PAINT FINISH
  - 19 REMOVE EXISTING METAL CORNER GUARDS
  - 20 REMOVE EXISTING WOOD TRIM
  - 21 REMOVE EXISTING VCT FLOOR TILE
  - 22 REMOVE EXISTING OVERHEAD ROLLING METAL SECURITY GRILLE
  - 23 REMOVE EXISTING MILLWORK
  - 24 REMOVE EXISTING WOOD WALL PANELS. PATCH AND REPAIR SURFACE TO RECEIVE NEW PAINT FINISH
  - 25 ALL EXISTING RAD CABINETS TO BE PAINTED TO MATCH EXISTING

- GENERAL NOTES**
1. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR MECHANICAL AND ELECTRICAL RELATED DEMOLITION WHERE MECHANICAL AND ELECTRICAL FIXTURES ARE REMOVED. PATCH AND REPAIR SURFACES TO ACCEPT NEW FINISHES AS SCHEDULED.
  2. ALL SALVAGED ITEMS ARE PROPERTY OF THE OWNER. ALL SALVAGE ITEMS SHALL BE STORED ON SITE AT A PREDETERMINED LOCATION FOR REVIEW BY OWNER. ANY SALVAGE ITEMS NOT ACCEPTED BY THE OWNER ARE THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM SITE.
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  4. PATCH AND REPAIR EXISTING SURFACES TO REMAIN WHERE ITEMS REMOVED (WALLS / MILLWORK / WALL COVERING / LIGHT FIXTURES / MECH / ETC.).
- INDICATES AREA NOT IN CONTRACT.



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0	2018-10-12	ISSUED FOR TENDER	CR

**REVISIONS**

**PROJECT**  
SHERWOOD PLACE  
RENOVATION  
PACKAGE 1:  
FLOORS 3, 4, 6, 7, 8, 9

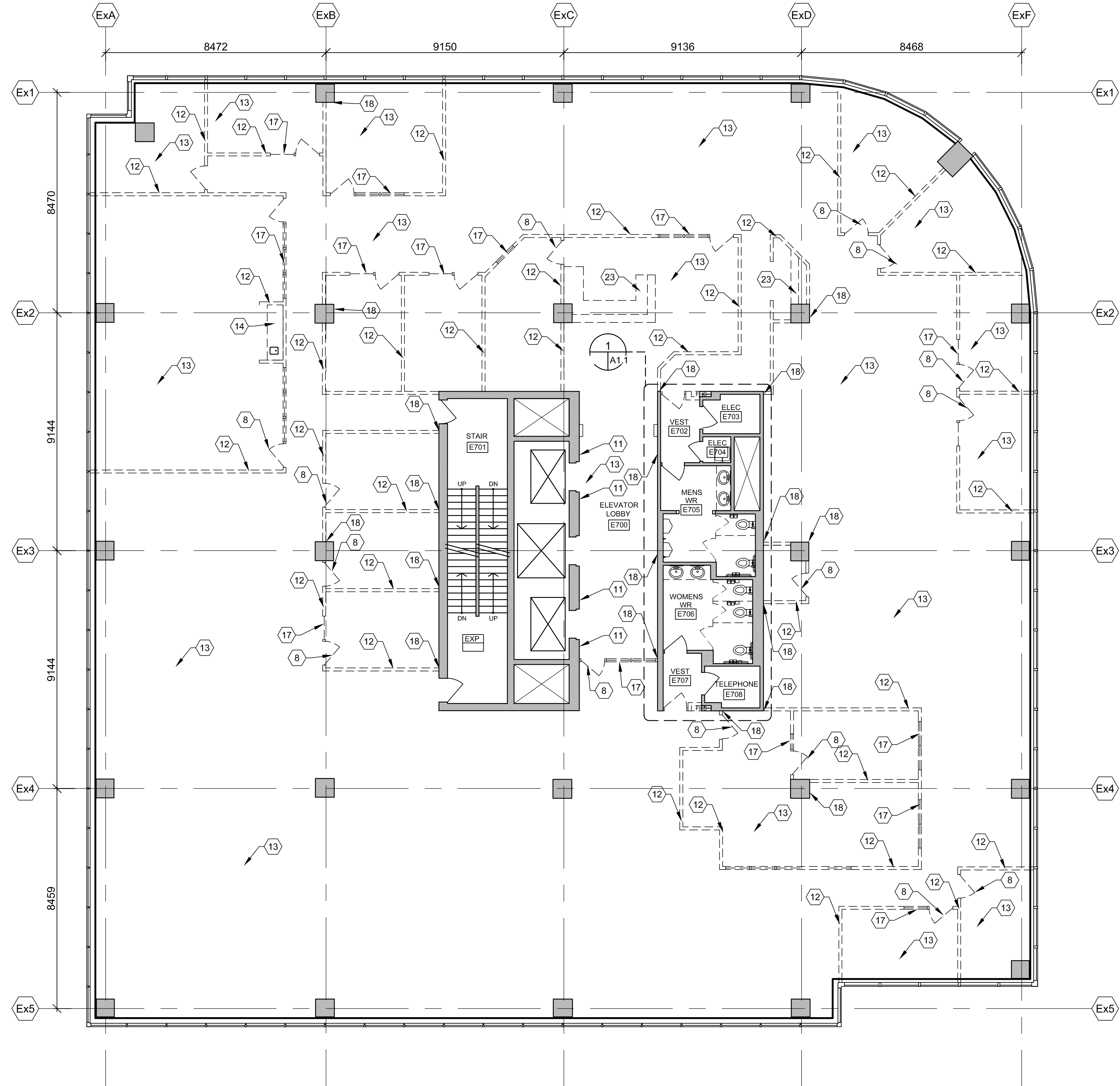
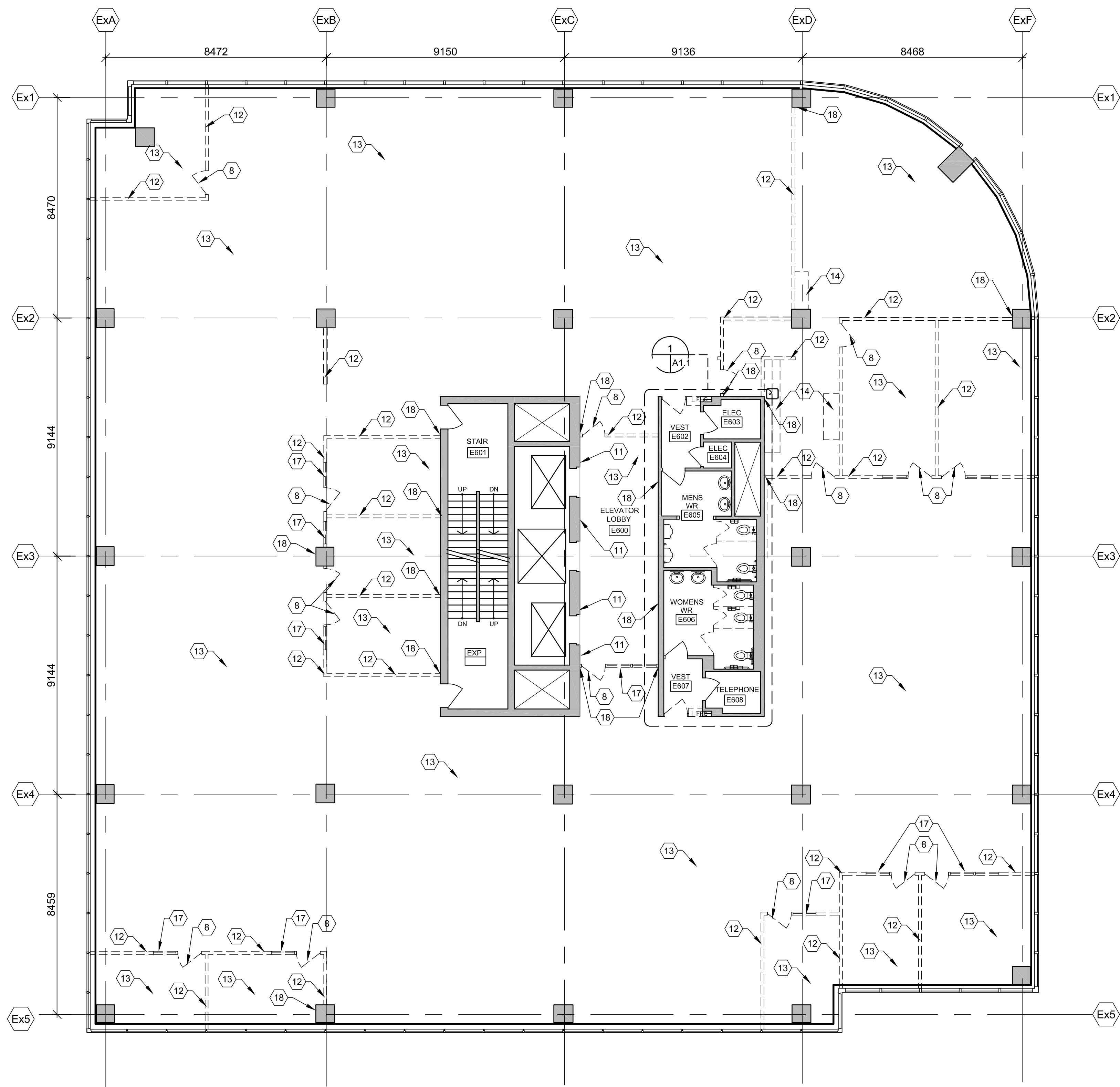
1900 ALBERT STREET  
REGINA, SASKATCHEWAN

**SHEET TITLE**  
DEMOLITION:  
THIRD AND FOURTH FLOOR  
PLANS +  
REFLECTED CEILING PLAN

DESIGN BY	NG
DRAWN BY	NG
CHECKED	CR
APPROVED	
OWNER	DREAM
SCALE	AS NOTED
DATE	2018-10-24
FILE NO.	
DRAWING NO.	

Number of Sheets  
A1.2



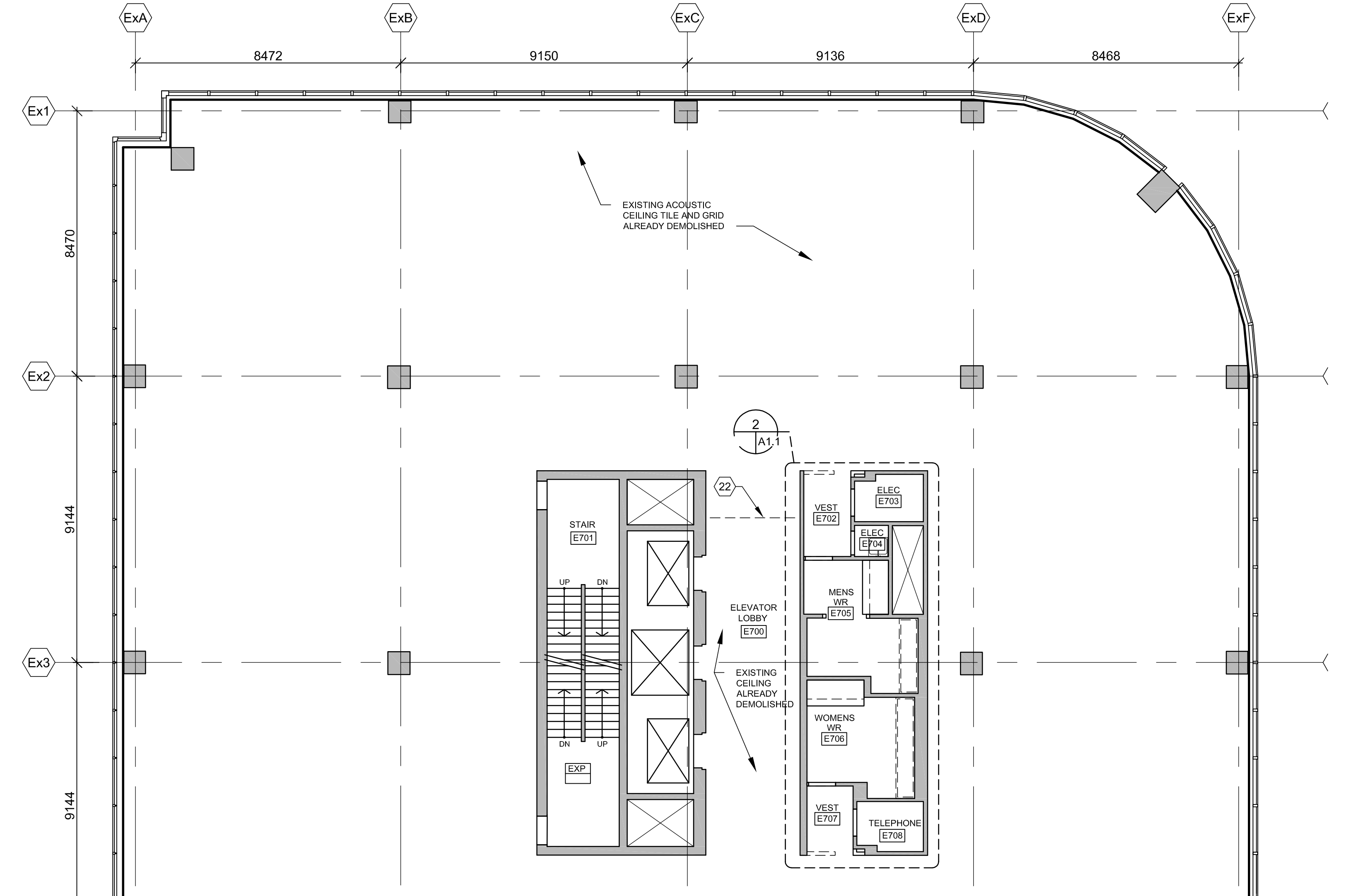
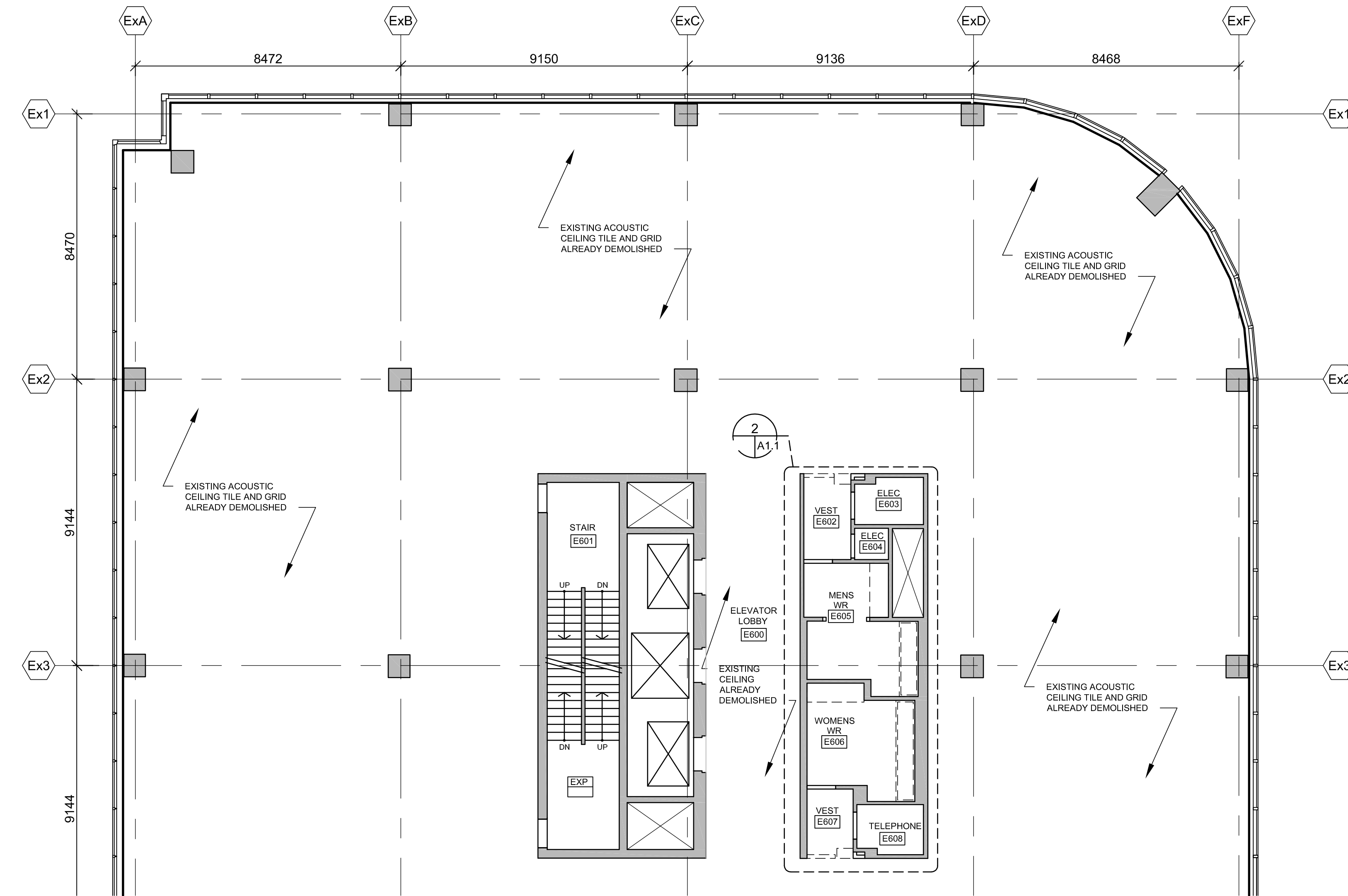


- DEMOLITION KEYNOTES**
- 1 REMOVE EXISTING EGG CRATE GRILLE AND BULKHEAD
  - 2 REMOVE EXISTING GYPSUM BOARD BULKHEAD
  - 3 REMOVE EXISTING WALL TILE AND GYPSUM BOARD
  - 4 REMOVE EXISTING FLOOR TILE AND BASE
  - 5 REMOVE EXISTING VANITY AND MIRROR
  - 6 REMOVE EXISTING METAL TOILET PARTITIONS
  - 7 REMOVE SECTION OF EXISTING WALL
  - 8 REMOVE EXISTING DOOR, FRAME AND ASSOCIATED HARDWARE
  - 9 REMOVE EXISTING RECESSED AND SURFACE MOUNTED WALL ACCESSORIES. REFER TO WASHROOM ACCESSORY SCHEDULE FOR LIST OF SALVAGED ITEMS
  - 10 REMOVE EXISTING FIRE HOSE CABINET - REFER TO MECHANICAL
  - 11 REMOVE EXISTING WALLCOVERING SEAL WALL AND APPLY SKIM COAT TO PREPARE FOR NEW PAINT FINISH
  - 12 REMOVE EXISTING WALL TO US CEILING
  - 13 REMOVE EXISTING CARPET FINISH AND RUBBER BASE. PREPARE EXISTING CONCRETE SLAB AND APPLY SBR/MCANT TO LEVEL EXISTING SLAB AND PREPARE TO RECEIVE FUTURE FLOOR FINISH
  - 14 REMOVE EXISTING MILLWORK CABINETRY
  - 15 REMOVE EXISTING SHEET FLOORING
  - 16 REMOVE EXISTING GLASS DOORS/SLIDELITE (STOREFRONT GLAZING)
  - 17 REMOVE EXISTING SIDELITE GLAZING AND FRAME
  - 18 EXISTING CRISP/BOARD TO REPAIR PATCH AND REPAIR AS NEEDED AND PREPARE FOR NEW PAINT FINISH
  - 19 REMOVE EXISTING METAL CORNER GUARDS
  - 20 REMOVE EXISTING WOOD TRIM
  - 21 REMOVE EXISTING VCT FLOOR TILE
  - 22 REMOVE EXISTING OVERHEAD ROLLING METAL SECURITY GRILLE
  - 23 REMOVE EXISTING MILLWORK
  - 24 REMOVE EXISTING WOOD WALL PANELS. PATCH AND REPAIR SURFACE TO RECEIVE NEW PAINT FINISH
  - 25 ALL EXISTING RAD CABINETS TO BE PAINTED TO MATCH EXISTING

- GENERAL NOTES**
1. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR MECHANICAL AND ELECTRICAL RELATED DEMOLITION. WHERE MECHANICAL AND ELECTRICAL FIXTURES ARE REMOVED, PATCH AND REPAIR SURFACES TO ACCEPT NEW FINISHES AS SCHEDULED.
  2. ALL SALVAGED ITEMS ARE PROPERTY OF THE OWNER. ALL SALVAGE ITEMS SHALL BE STORED ON SITE AT A PREDETERMINED LOCATION FOR REVIEW BY OWNER. ANY SALVAGE ITEMS NOT ACCEPTED BY THE OWNER ARE THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM SITE.
  3. PATCH AND REPAIR ALL SURFACES TO ACCEPT NEW FINISHES AS SCHEDULED.
  4. PATCH AND REPAIR EXISTING SURFACES TO REMAIN WHERE ITEMS REMOVED (WALLS, MILLWORK, WALL COVERING, LIGHT FIXTURES, MECH, ETC.).
- INDICATES AREA NOT IN CONTRACT.

**1 SIXTH FLOOR DEMOLITION PLAN**  
NORTH  
A1.3/A1.3 1:100

**3 SEVENTH FLOOR DEMOLITION PLAN**  
NORTH  
A1.3/A1.3 1:100



**2 SIXTH FLOOR PARTIAL REFLECTED CEILING PLAN - DEMOLITION**  
NORTH  
A1.3/A1.3 1:100

**4 SEVENTH FLOOR PARTIAL REFLECTED CEILING PLAN - DEMOLITION**  
NORTH  
A1.3/A1.3 1:100



NO.	DATE	ITEM	BY
1	2018-10-24	REISSUED FOR TENDER	CR
0	2018-10-12	ISSUED FOR TENDER	CR

**REVISIONS**

**PROJECT**

SHERWOOD PLACE  
RENOVATION  
PACKAGE 1:  
FLOORS 3, 4, 6, 7, 8, 9

1900 ALBERT STREET  
REGINA, SASKATCHEWAN

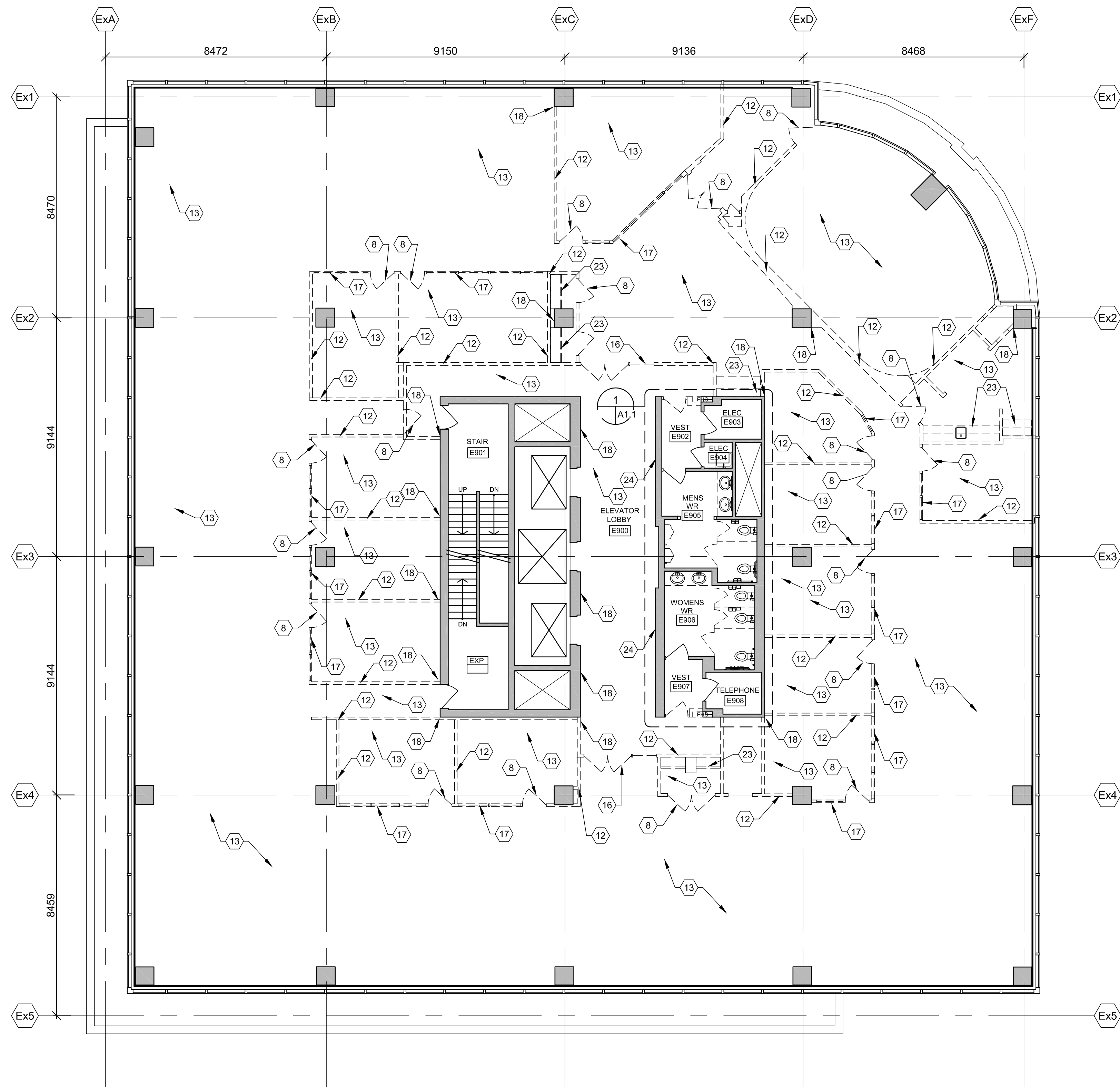
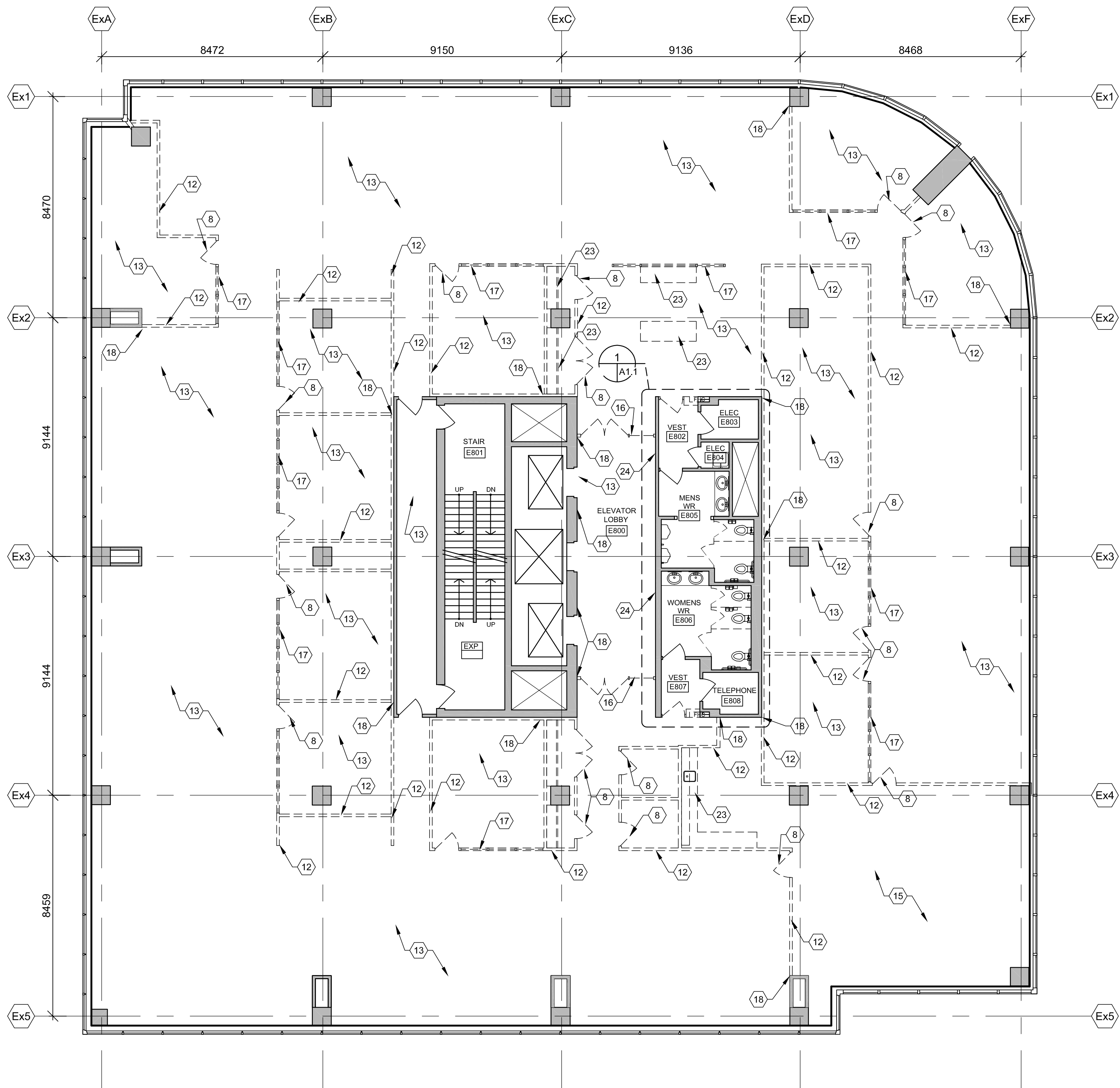
**SHEET TITLE**

DEMOLITION:  
SIXTH AND SEVENTH  
FLOOR PLANS +  
REFLECTED CEILING PLAN

DESIGN BY	NG
DRAWN BY	NG
CHECKED	CR
APPROVED	
OWNER	DREAM
SCALE	AS NOTED
DATE	2018-10-24
FILE NO.	
DRAWING NO.	

Number of Sheets  
A1.3





**DEMOLITION KEYNOTES**

- REMOVE EXISTING EGG CRATE GRILLE AND BULKHEAD
- REMOVE EXISTING GYPSUM BOARD BULKHEAD
- REMOVE EXISTING WALL TILE AND GYPSUM BOARD
- REMOVE EXISTING FLOOR TILE AND BASE
- REMOVE EXISTING VANITY AND MIRROR
- REMOVE EXISTING METAL TOILET PARTITIONS
- REMOVE SECTION OF EXISTING WALL
- REMOVE EXISTING DOOR, FRAME AND ASSOCIATED HARDWARE
- REMOVE EXISTING RECESSED AND SURFACE MOUNTED WALL ACCESSORIES. REFER TO WASHROOM ACCESSORY SCHEDULE FOR LIST OF SALVAGED ITEMS
- REMOVE EXISTING FIRE HOSE CABINET - REFER TO MECHANICAL
- REMOVE EXISTING WALLCOVERING SEAL WALL AND APPLY SKIM COAT TO PREPARE FOR NEW PAINT FINISH
- REMOVE EXISTING WALL TO US CEILING
- REMOVE EXISTING CARPET FINISH AND RUBBER BASE. PREPARE EXISTING CONCRETE SLAB AND APPLY SKIMCOAT TO LEVEL EXISTING SLAB AND PREPARE TO RECEIVE FUTURE FLOOR FINISH.
- REMOVE EXISTING MILLWORK CABINETRY
- REMOVE EXISTING SHEET FLOORING
- REMOVE EXISTING GLASS DOORS/SLIDELITE (STOREFRONT GLAZING)
- REMOVE EXISTING SLIDELITE GLAZING AND FRAME
- EXISTING DOORS/SLIDELITE TO REMAIN. PATCH AND REPAIR AS NEEDED AND PREPARE FOR NEW PAINT FINISH.
- REMOVE EXISTING METAL CORNER GUARDS
- REMOVE EXISTING WOOD TRIM
- REMOVE EXISTING VCT FLOOR TILE
- REMOVE EXISTING OVERHEAD ROLLING METAL SECURITY GRILLE
- REMOVE EXISTING MILLWORK
- REMOVE EXISTING WOOD WALL PANELS. PATCH AND REPAIR SURFACE TO RECEIVE NEW PAINT FINISH.
- ALL EXISTING CABINETS TO BE PAINTED TO MATCH EXISTING

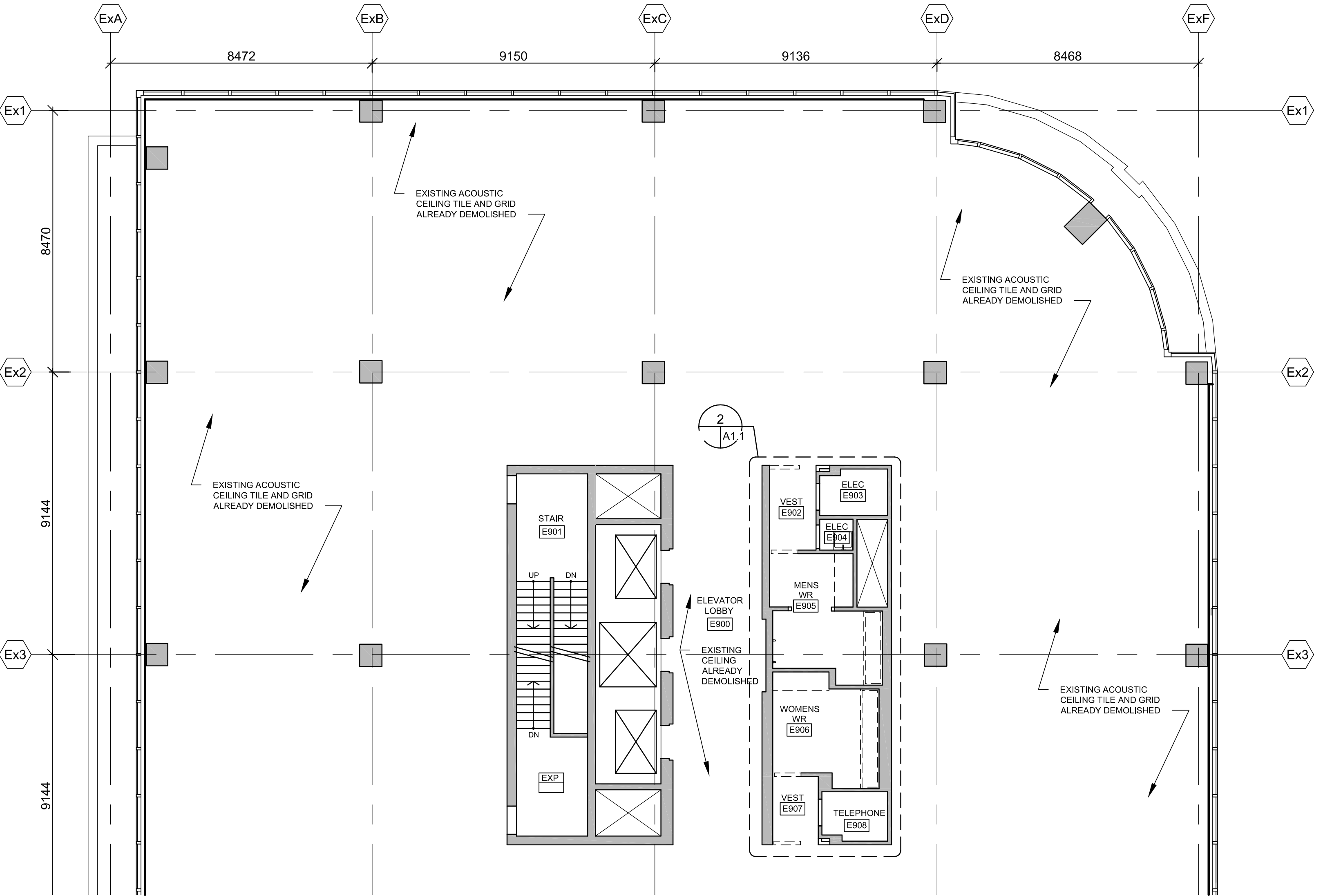
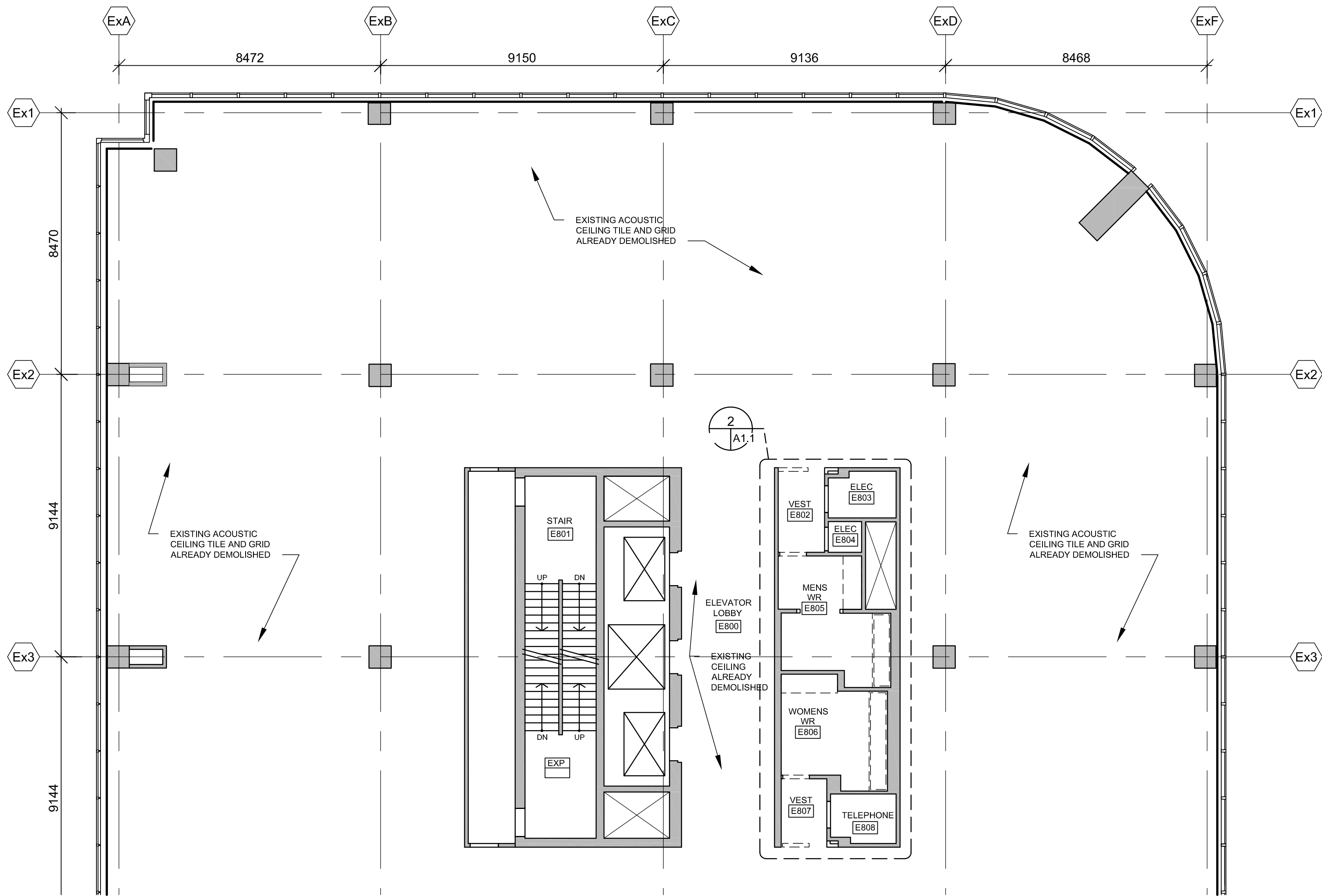
**GENERAL NOTES**

- SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR MECHANICAL AND ELECTRICAL RELATED DEMOLITION WHERE MECHANICAL AND ELECTRICAL FIXTURES ARE REMOVED. PATCH AND REPAIR SURFACES TO ACCEPT NEW FINISHES AS SCHEDULED.
- ALL SALVAGED ITEMS ARE PROPERTY OF THE OWNER. ALL SALVAGE ITEMS SHALL BE STORED ON SITE AT A PRE-DETERMINED LOCATION FOR REVIEW BY OWNER. ANY SALVAGE ITEMS NOT ACCEPTED BY THE OWNER ARE THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM SITE.
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- PATCH AND REPAIR EXISTING SURFACES TO REMAIN WHERE ITEMS REMOVED (WALLS / MILLWORK / WALL COVERINGS / LIGHT FIXTURES / MECH / ETC.).

INDICATES AREA NOT IN CONTRACT.

**1 EIGHTH FLOOR DEMOLITION PLAN**  
NORTH  
A1.4/A1.4 1:100

**3 NINTH FLOOR DEMOLITION PLAN**  
NORTH  
A1.4/A1.4 1:100



**2 EIGHTH FLOOR PARTIAL REFLECTED CEILING PLAN - DEMOLITION**  
NORTH  
A1.4/A1.4 1:100

**4 NINTH FLOOR PARTIAL REFLECTED CEILING PLAN - DEMOLITION**  
NORTH  
A1.4/A1.4 1:100



NO.	DATE	ITEM	BY
1	2018-10-24	REISSUED FOR TENDER	CR
0	2018-10-12	ISSUED FOR TENDER	CR

**REVISIONS**

**PROJECT**

SHERWOOD PLACE  
RENOVATION  
PACKAGE 1:  
FLOORS 3, 4, 6, 7, 8, 9

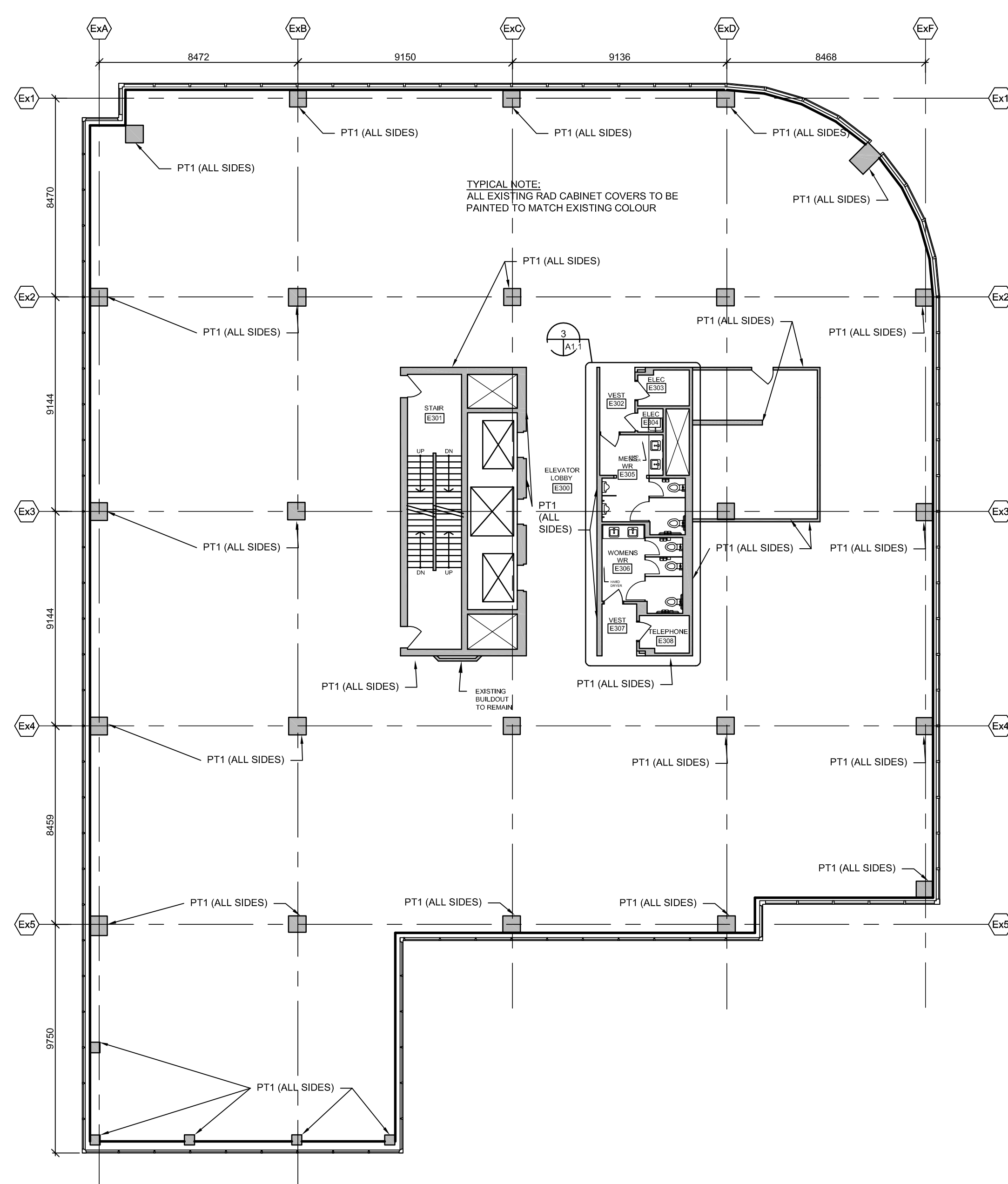
1900 ALBERT STREET  
REGINA, SASKATCHEWAN

**SHEET TITLE**

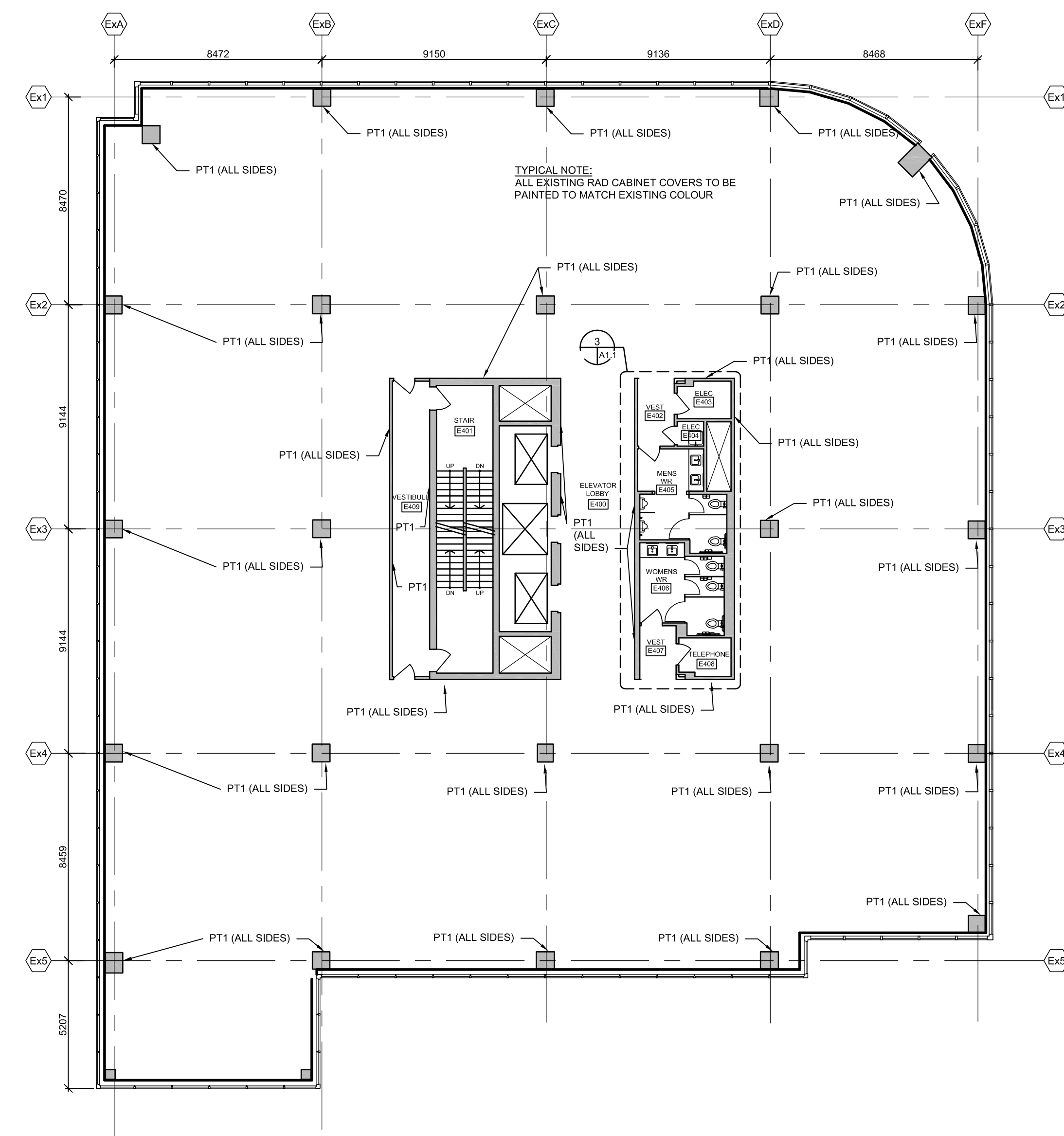
DEMOLITION:  
EIGHT AND NINTH  
FLOOR PLANS +  
REFLECTED CEILING PLAN

DESIGN BY	NG
DRAWN BY	NG
CHECKED	CR
APPROVED	
OWNER	DREAM
SCALE	AS NOTED
DATE	2018-10-24
FILE NO.	
DRAWING NO.	A1.4
Number of Sheets	

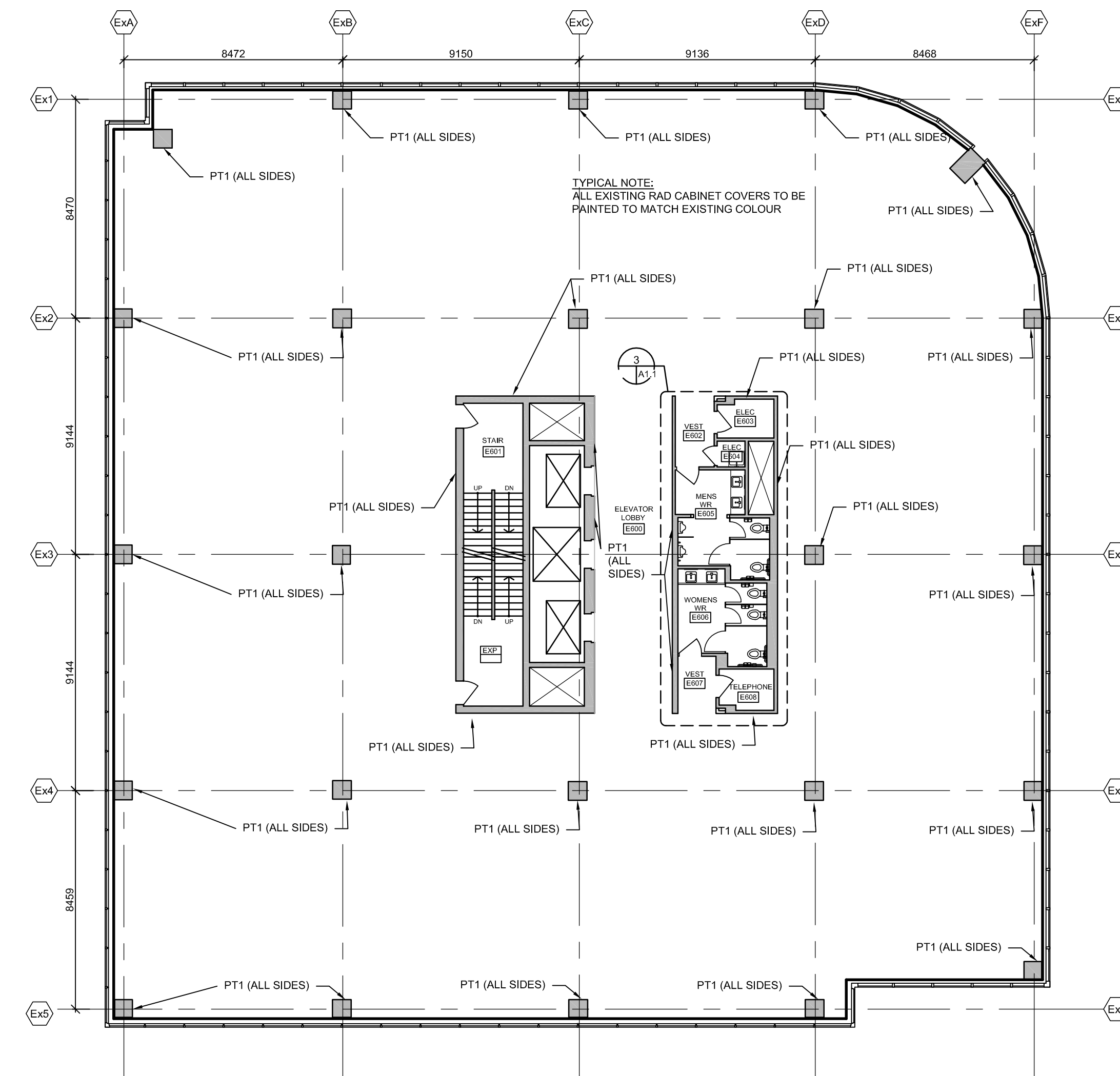




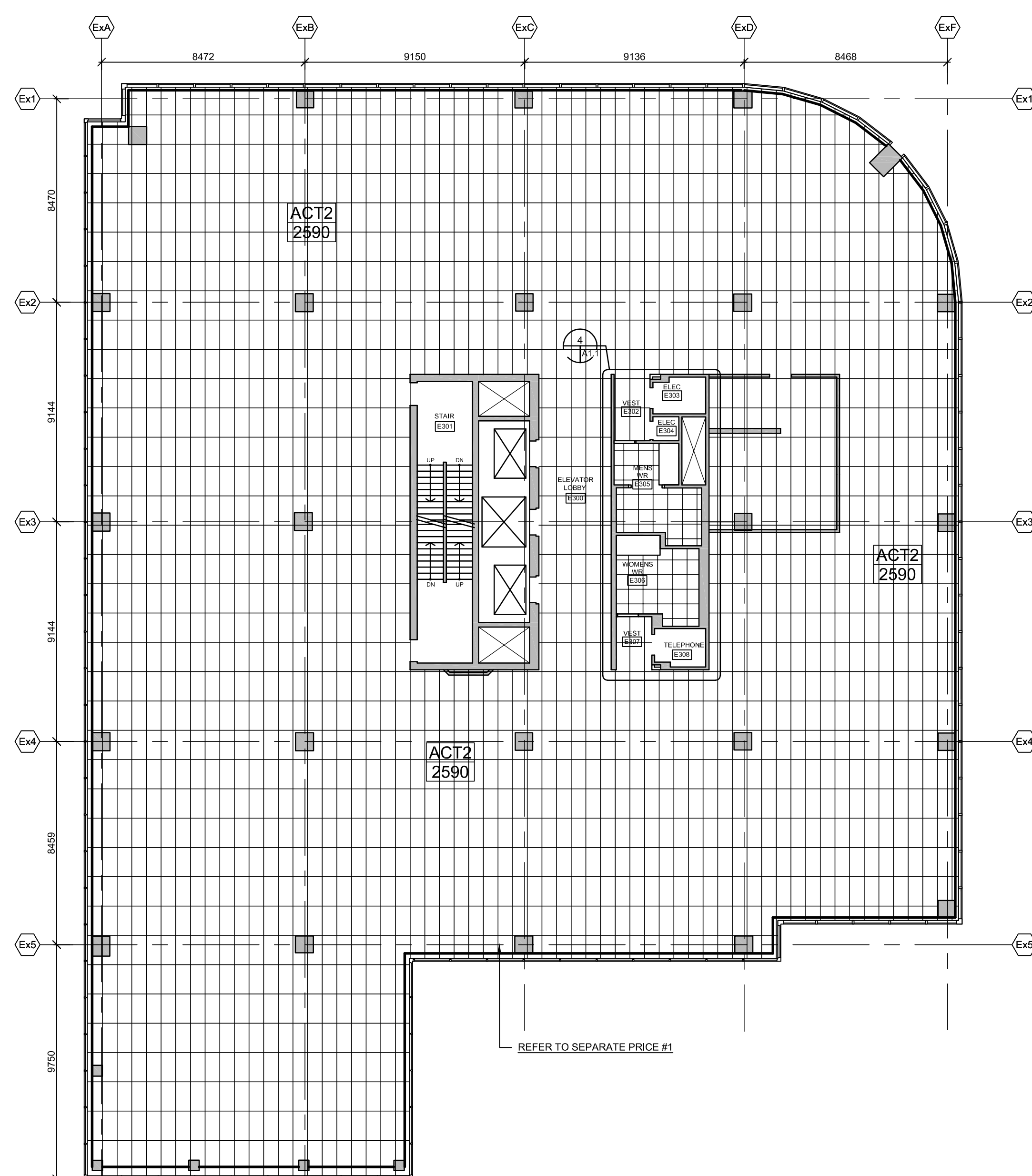
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1:150



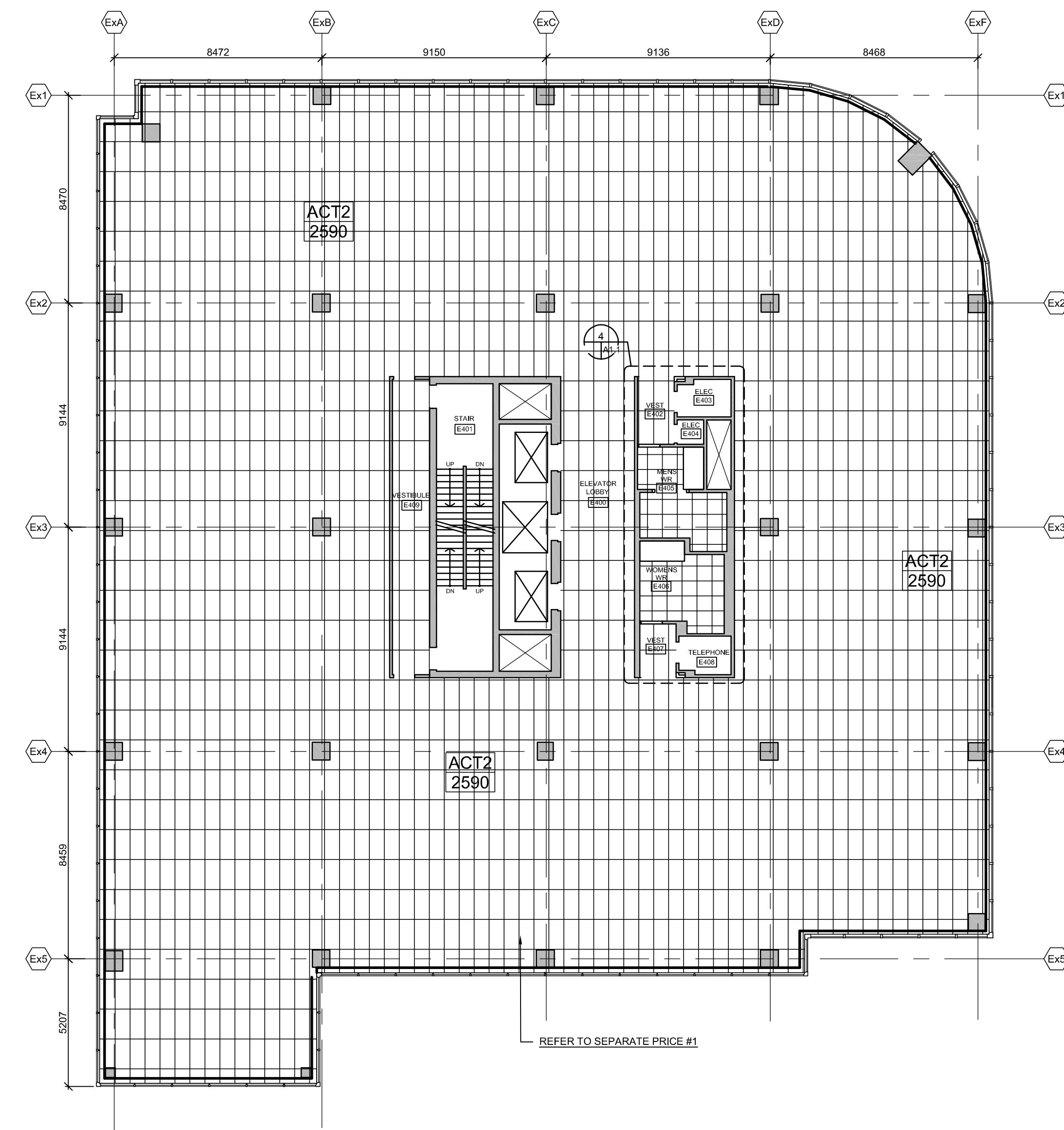
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1:150



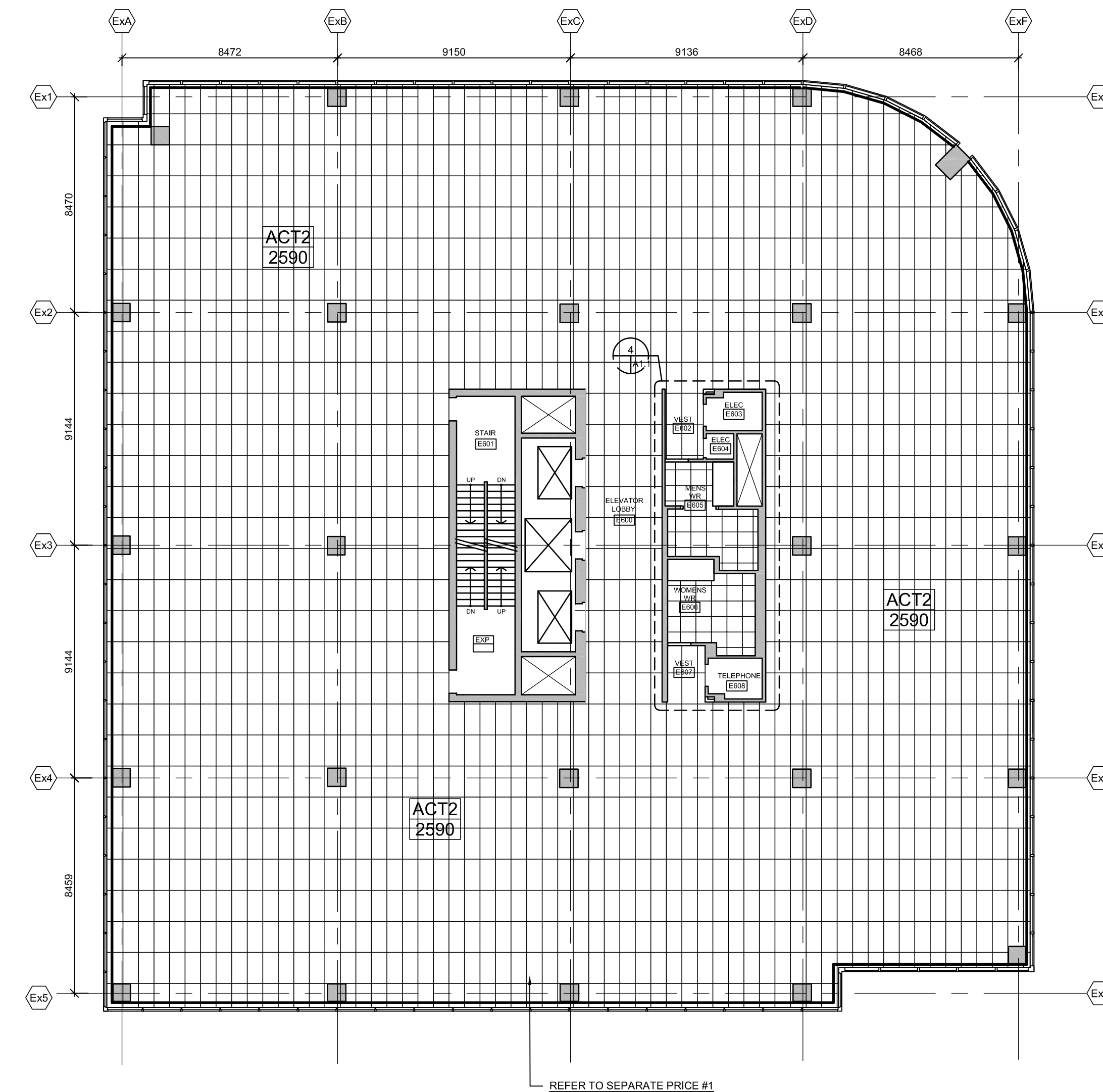
  **SIXTH FLOOR CONSTRUCTION PLAN**  
1:150



  **THIRD FLOOR REFLECTED CEILING PLAN**  
A2.1 | A2.1 1:150



  **FOURTH FLOOR REFLECTED CEILING PLAN**  
NORTH 1:150



  **SIXTH FLOOR REFLECTED CEILING PLAN**  
1:150

	2018-10-24	REISSUED FOR TENDER	CR
	2018-10-12	ISSUED FOR TENDER	CR
<b>O.</b>	<b>DATE</b>	<b>ITEM</b>	<b>BY</b>

## REVISIONS

## PROJECT

SHERWOOD PLACE  
RENOVATION  
PACKAGE 1:  
FLOORS 3, 4, 6, 7, 8, 9

900 ALBERT STREET  
REGINA, SASKATCHEWAN

## HEET TITLE

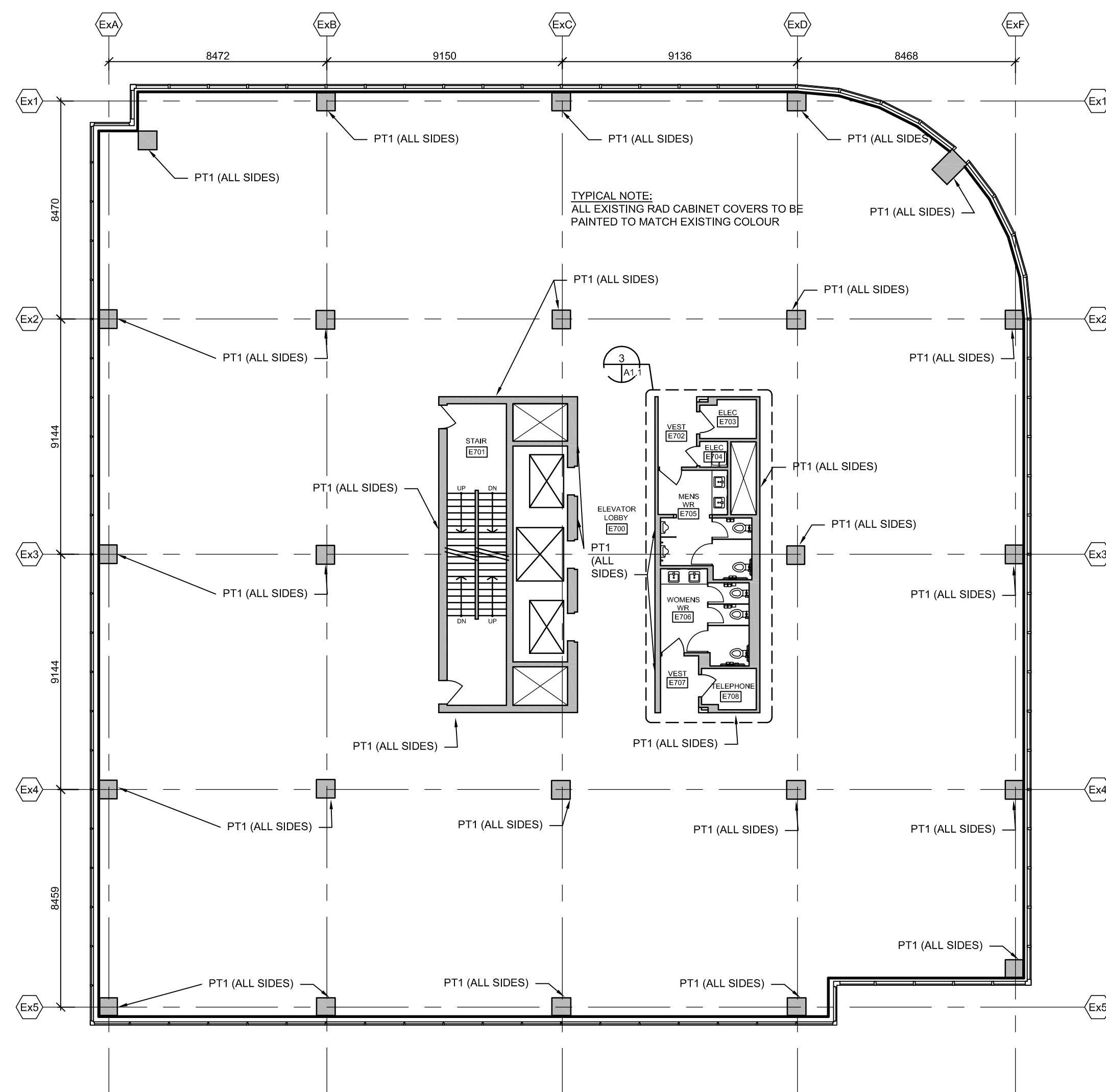
THIRD, FOURTH AND SIXTH  
FLOOR  
CONSTRUCTION PLAN +  
REFLECTED CEILING PLAN

DESIGN BY	NG
DRAWN BY	NG
CHECKED	CR
APPROVED	
OWNER	DREAM
SCALE	AS NOTED
DATE	2018-10-24
FILE NO.	<b>DRAWING NO.</b>

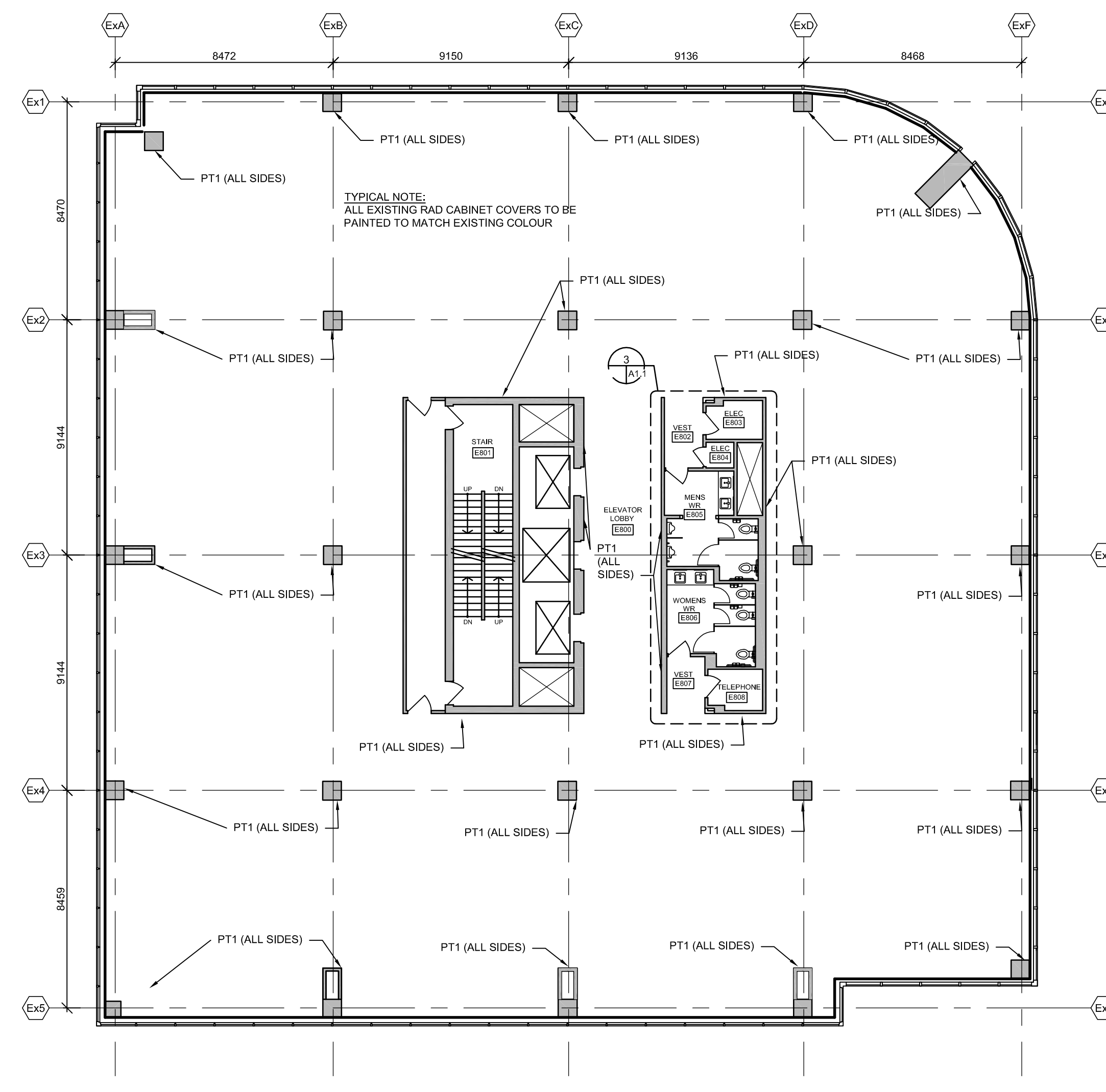
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7/2018	187.7	187.7	187.7	187.7	187.7	187.7
8/2018	187.7	187.7	187.7	187.7	187.7	187.7
9/2018	187.7	187.7	187.7	187.7	187.7	187.7
10/2018	187.7	187.7	187.7	187.7	187.7	187.7
11/2018	187.7	187.7	187.7	187.7	187.7	187.7
12/2018	187.7	187.7	187.7	187.7	187.7	187.7
1/2019	187.7	187.7	187.7	187.7	187.7	187.7
2/2019	187.7	187.7	187.7	187.7	187.7	187.7
3/2019	187.7	187.7	187.7	187.7	187.7	187.7
4/2019	187.7	187.7	187.7	187.7	187.7	187.7
5/2019	187.7	187.7	187.7	187.7	187.7	187.7
6/2019	187.7	187.7	187.7	187.7	187.7	187.7
7/2019	187.7	187.7	187.7	187.7	187.7	187.7
8/2019	187.7	187.7	187.7	187.7	187.7	187.7
9/2019	187.7	187.7	187.7	187.7	187.7	187.7
10/2019	187.7	187.7	187.7	187.7	187.7	187.7
11/2019	187.7	187.7	187.7	187.7	187.7	187.7
12/2019	187.7	187.7	187.7	187.7	187.7	187.7
1/2020	187.7	187.7	187.7	187.7	187.7	187.7
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3/2020	187.7	187.7	187.7	187.7	187.7	187.7
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7/2020	187.7	187.7	187.7	187.7	187.7	187.7
8/2020	187.7	187.7	187.7	187.7	187.7	187.7
9/2020	187.7	187.7	187.7	187.7	187.7	187.7
10/2020	187.7	187.7	187.7	187.7	187.7	187.7
11/2020	187.7	187.7	187.7	187.7	187.7	187.7
12/2020	187.7	187.7	187.7	187.7	187.7	187.7
1/2021	187.7	187.7	187.7	187.7	187.7	187.7
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6/2021	187.7	187.7	187.7	187.7	187.7	187.7
7/2021	187.7	187.7	187.7	187.7	187.7	187.7
8/2021	187.7	187.7	187.7	187.7	187.7	187.7
9/2021	187.7	187.7	187.7	187.7	187.7	187.7
10/2021	187.7	187.7	187.7	187.7	187.7	187.7
11/2021	187.7	187.7	187.7	187.7	187.7	187.7
12/2021	187.7	187.7	187.7	187.7	187.7	187.7
1/2022	187.7	187.7	187.7	187.7	187.7	187.7
2/2022	187.7	187.7	187.7	187.7	187.7	187.7
3/2022	187.7	187.7	187.7	187.7		

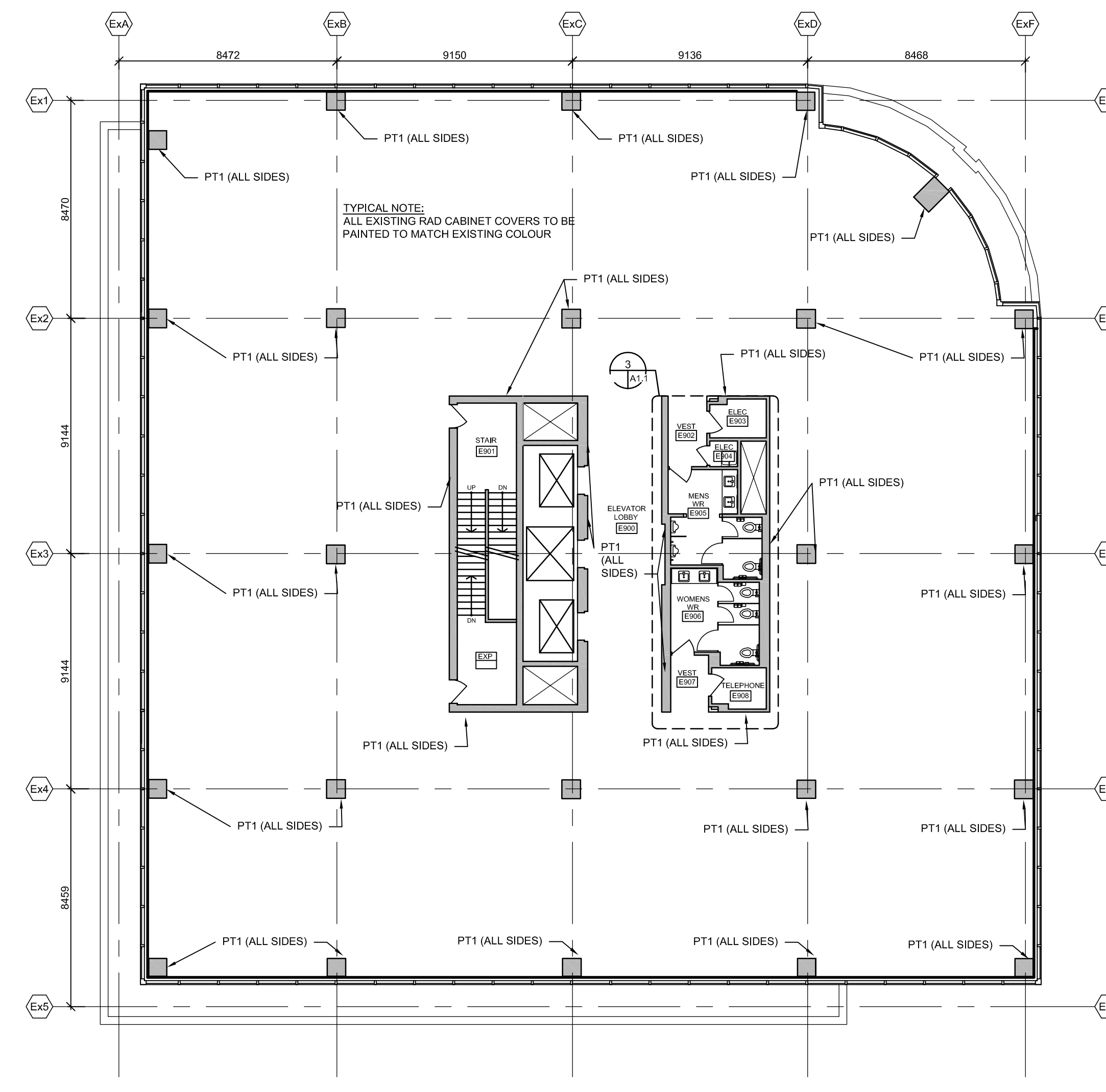




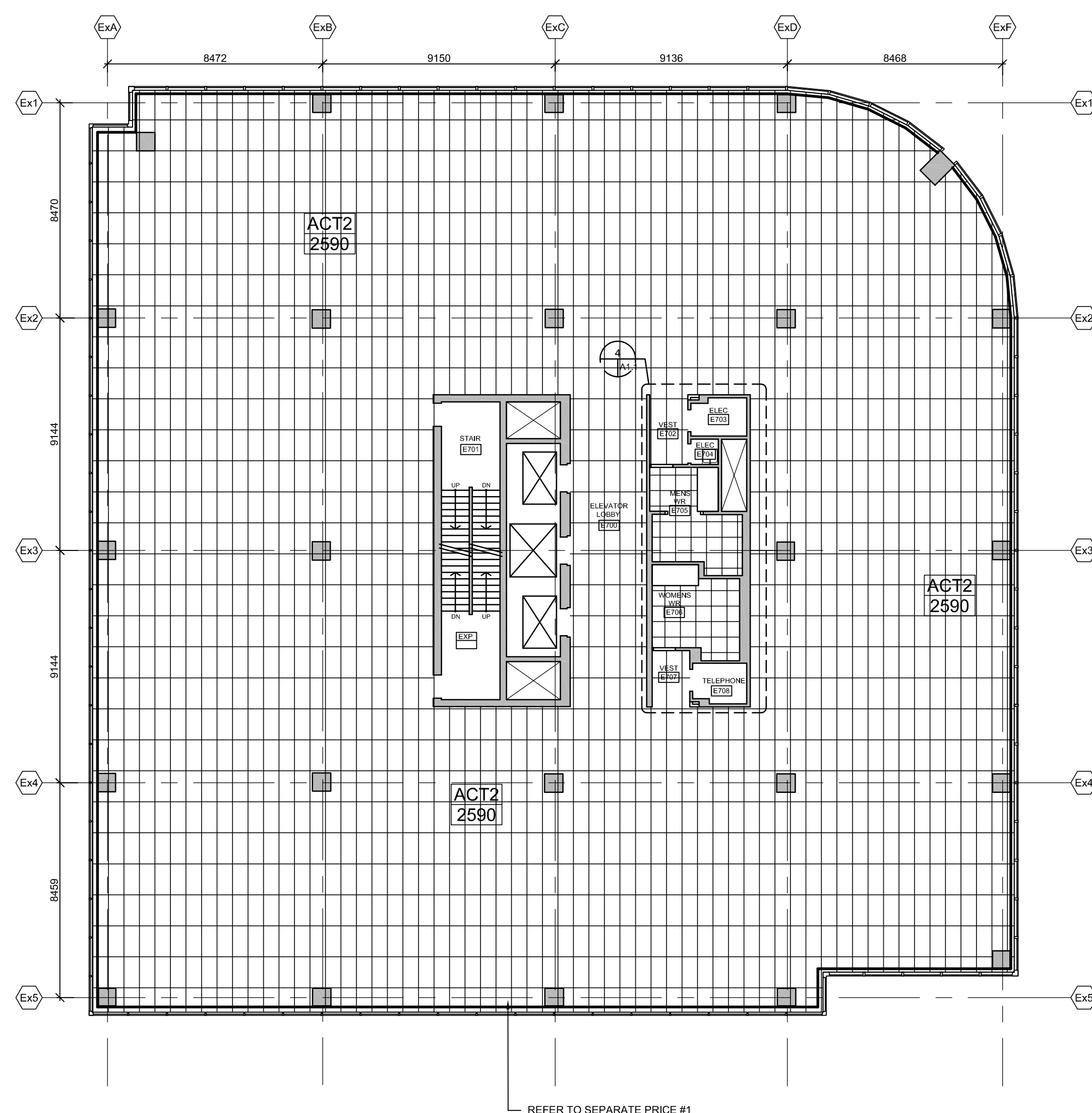
1 SEVENTH FLOOR CONSTRUCTION PLAN  
A2.2/A2.2 1:150  
NORTH



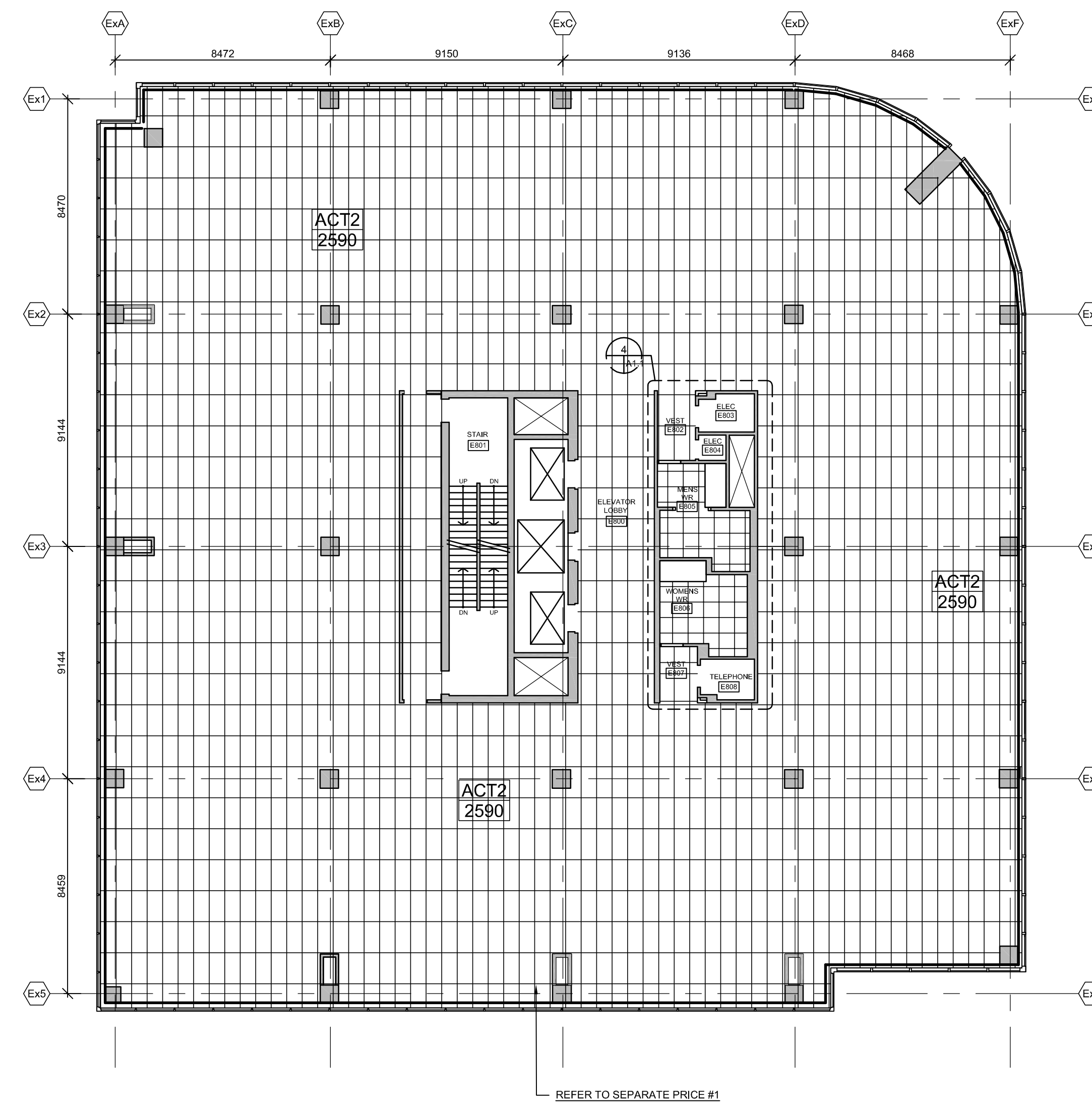
3 EIGHTH FLOOR CONSTRUCTION PLAN  
A2.2/A2.2 1:150  
NORTH



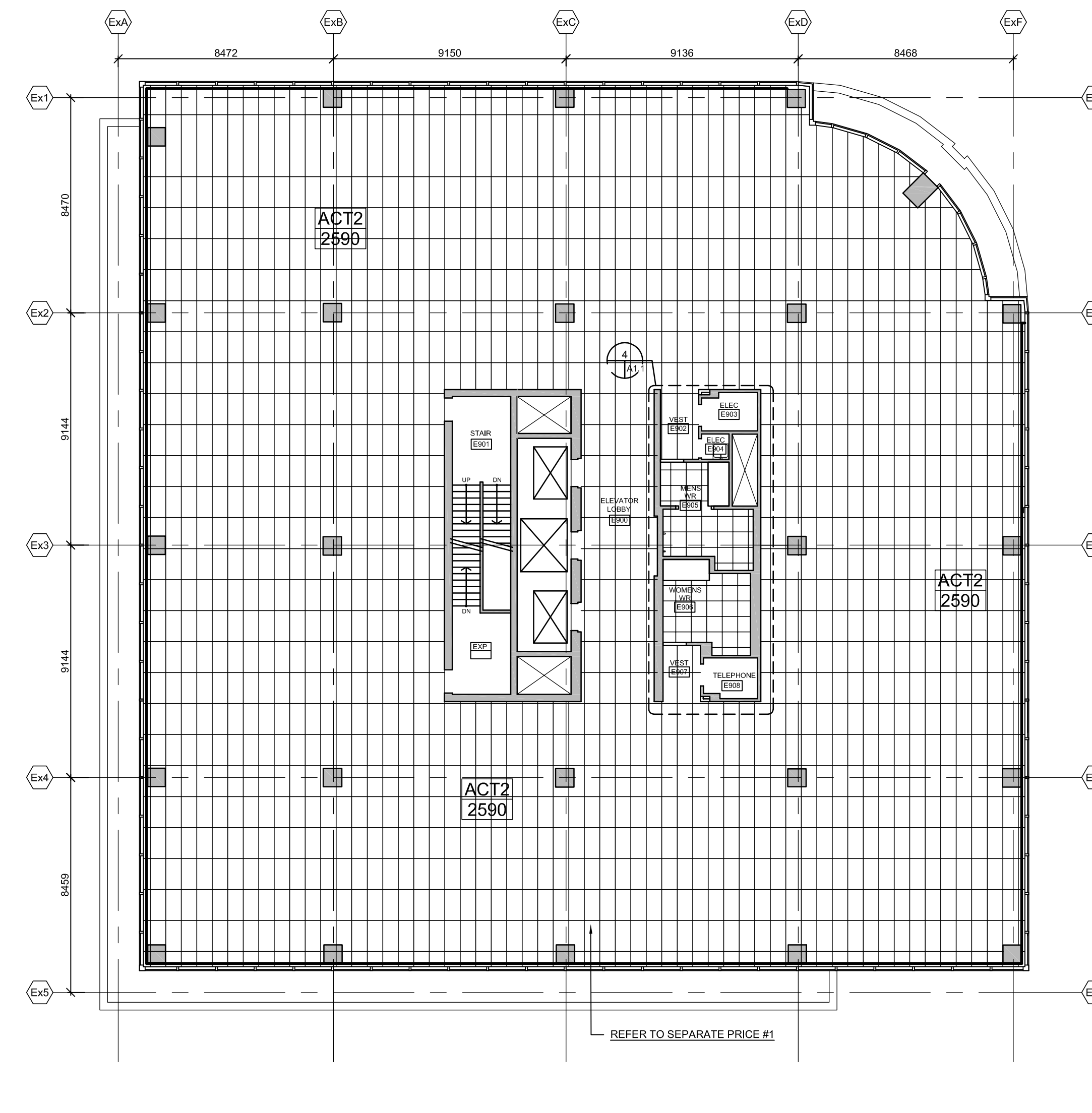
5 NINTH FLOOR CONSTRUCTION PLAN  
A2.2/A2.2 1:150  
NORTH



2 SEVENTH FLOOR REFLECTED CEILING PLAN  
A2.2/A2.2 1:150  
NORTH



4 EIGHTH FLOOR REFLECTED CEILING PLAN  
A2.2/A2.2 1:150  
NORTH



6 NINTH FLOOR REFLECTED CEILING PLAN  
A2.2/A2.2 1:150  
NORTH



NO.	DATE	ITEM	BY
1	2018-10-24	REISSUED FOR TENDER	CR
0	2018-10-12	ISSUED FOR TENDER	CR

REVISIONS

PROJECT

SHERWOOD PLACE  
RENOVATION  
PACKAGE 1:  
FLOORS 3, 4, 6, 7, 8, 9

1900 ALBERT STREET  
REGINA, SASKATCHEWAN

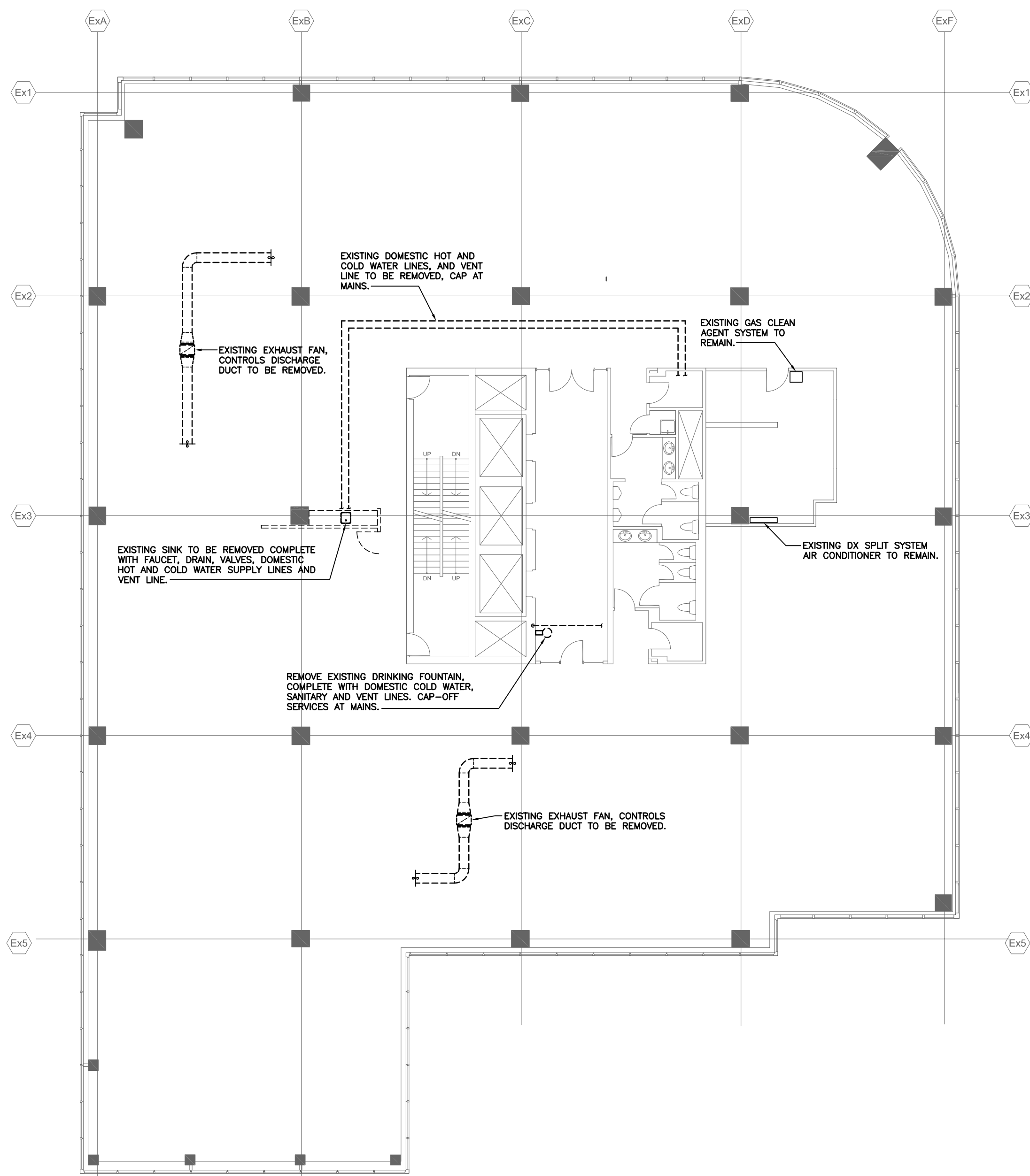
SHEET TITLE

SEVENTH, EIGHTH AND  
NINTH FLOOR  
CONSTRUCTION PLAN +  
REFLECTED CEILING PLAN

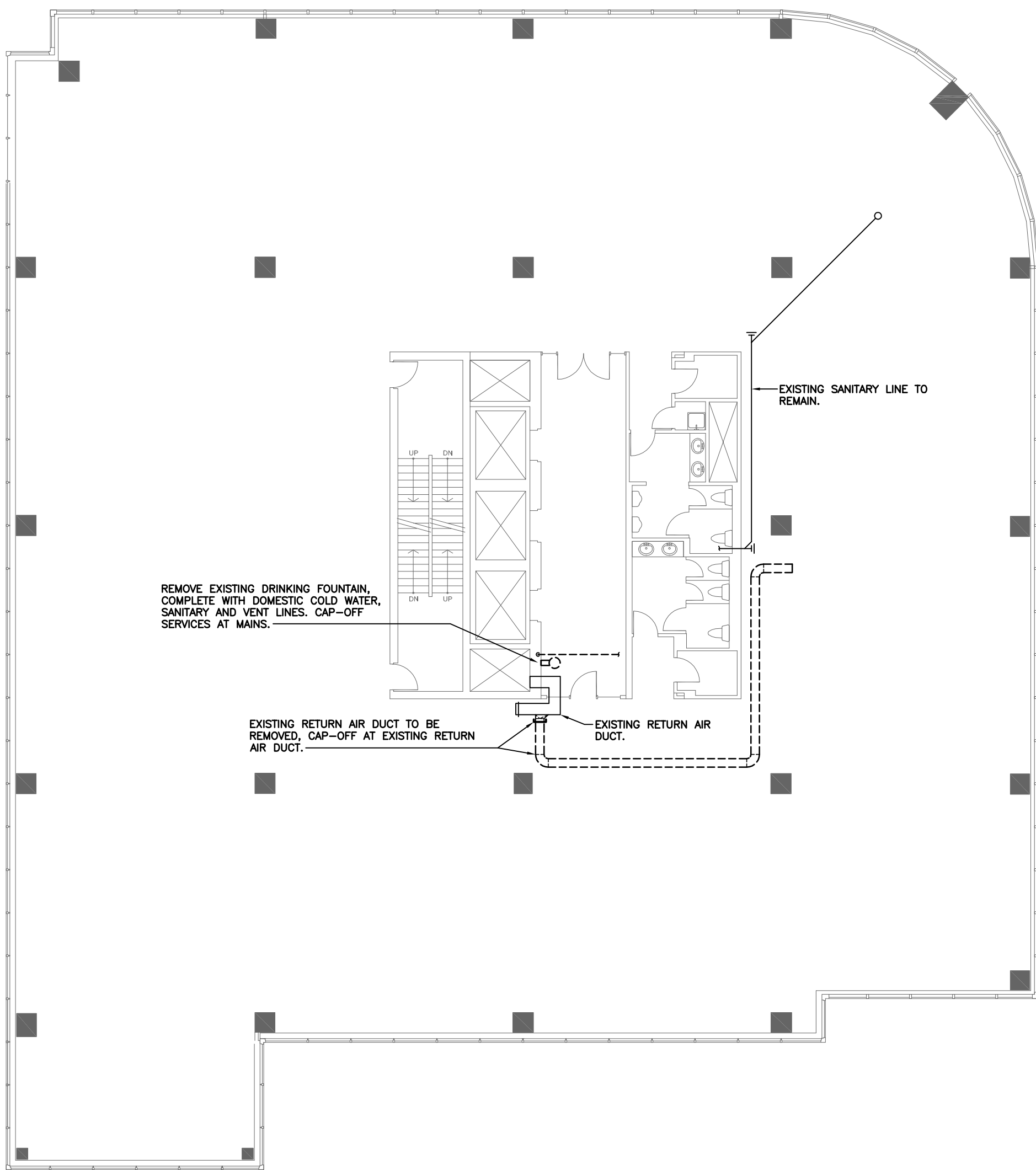
DESIGN BY	NG
DRAWN BY	NG
CHECKED	CR
APPROVED	
OWNER	DREAM
SCALE	AS NOTED
DATE	2018-10-24
FILE NO.	DRAWING NO.

Number of  
Sheets  
A2.2

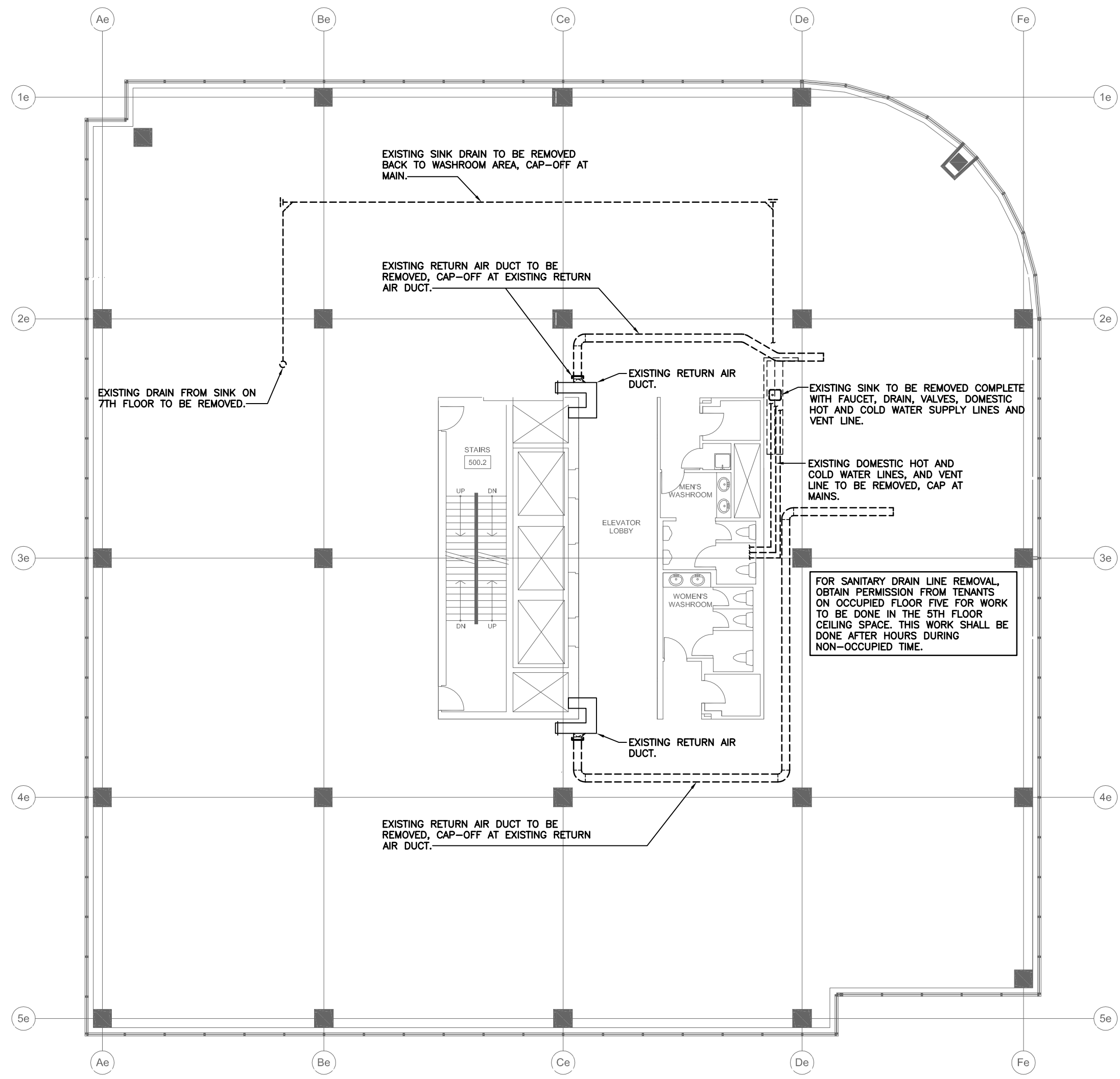




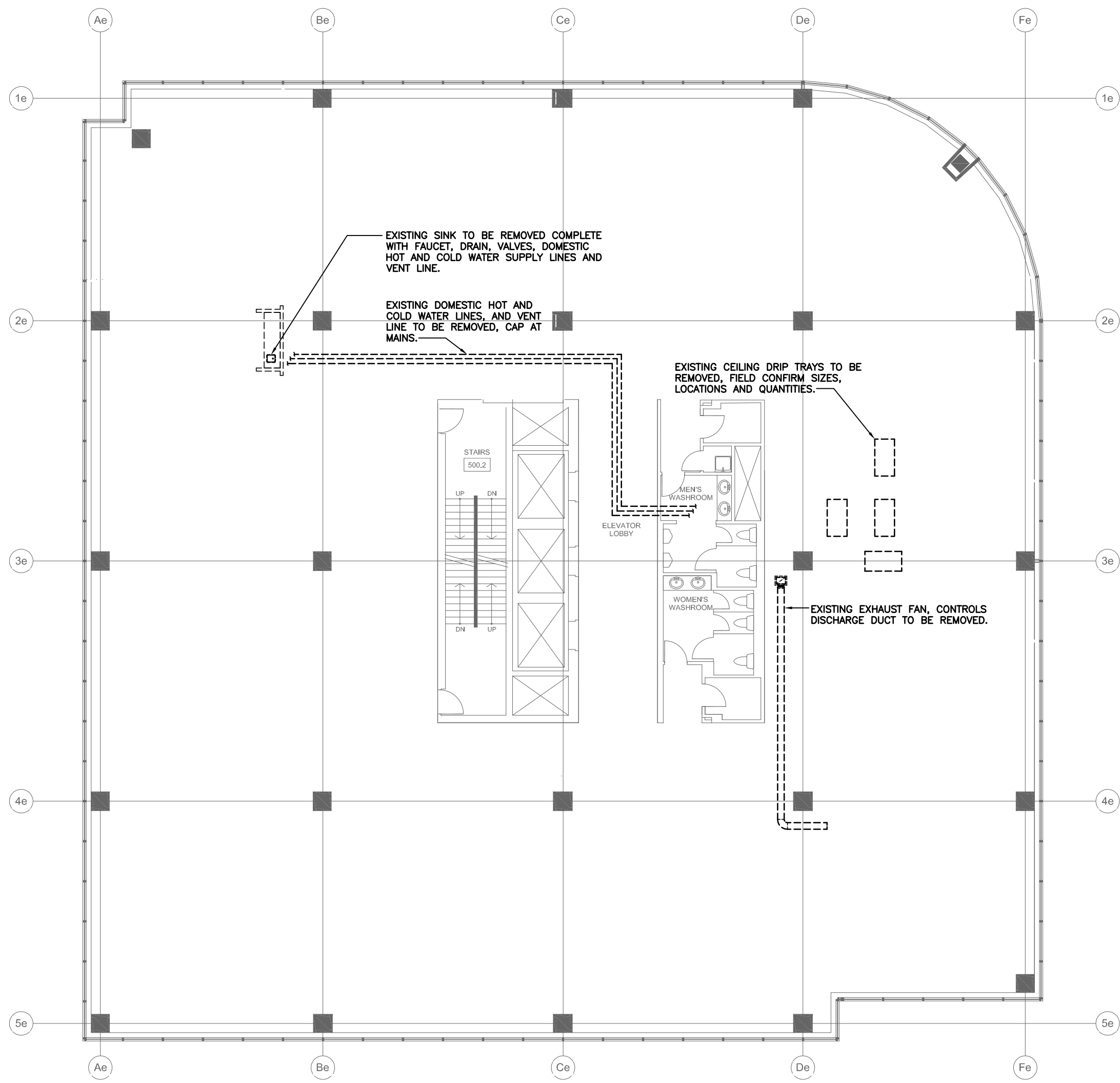
1 THIRD FLOOR PLAN - DEMOLITION  
M1 1:150



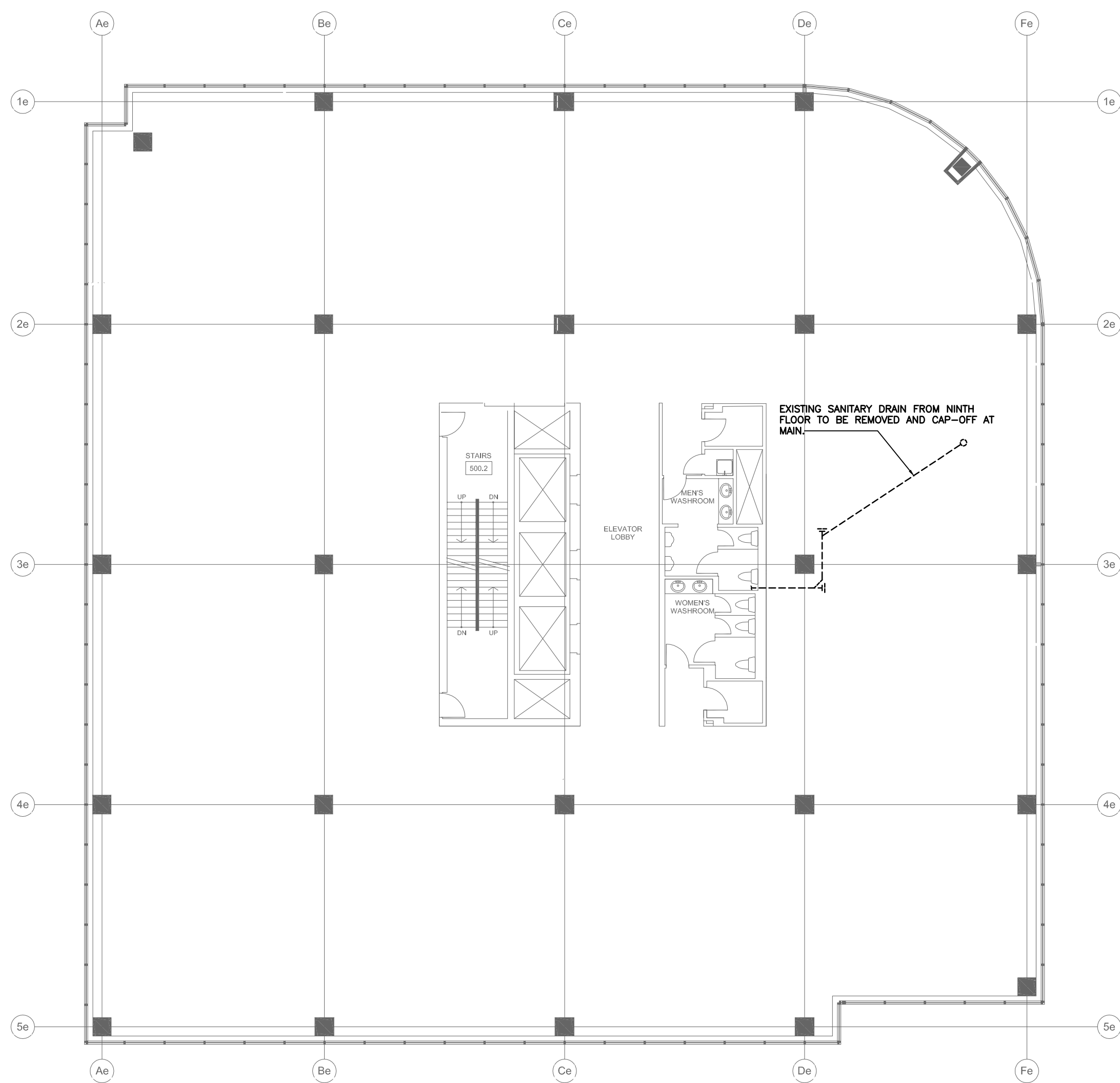
2 FOURTH FLOOR PLAN - DEMOLITION  
M1 1:150



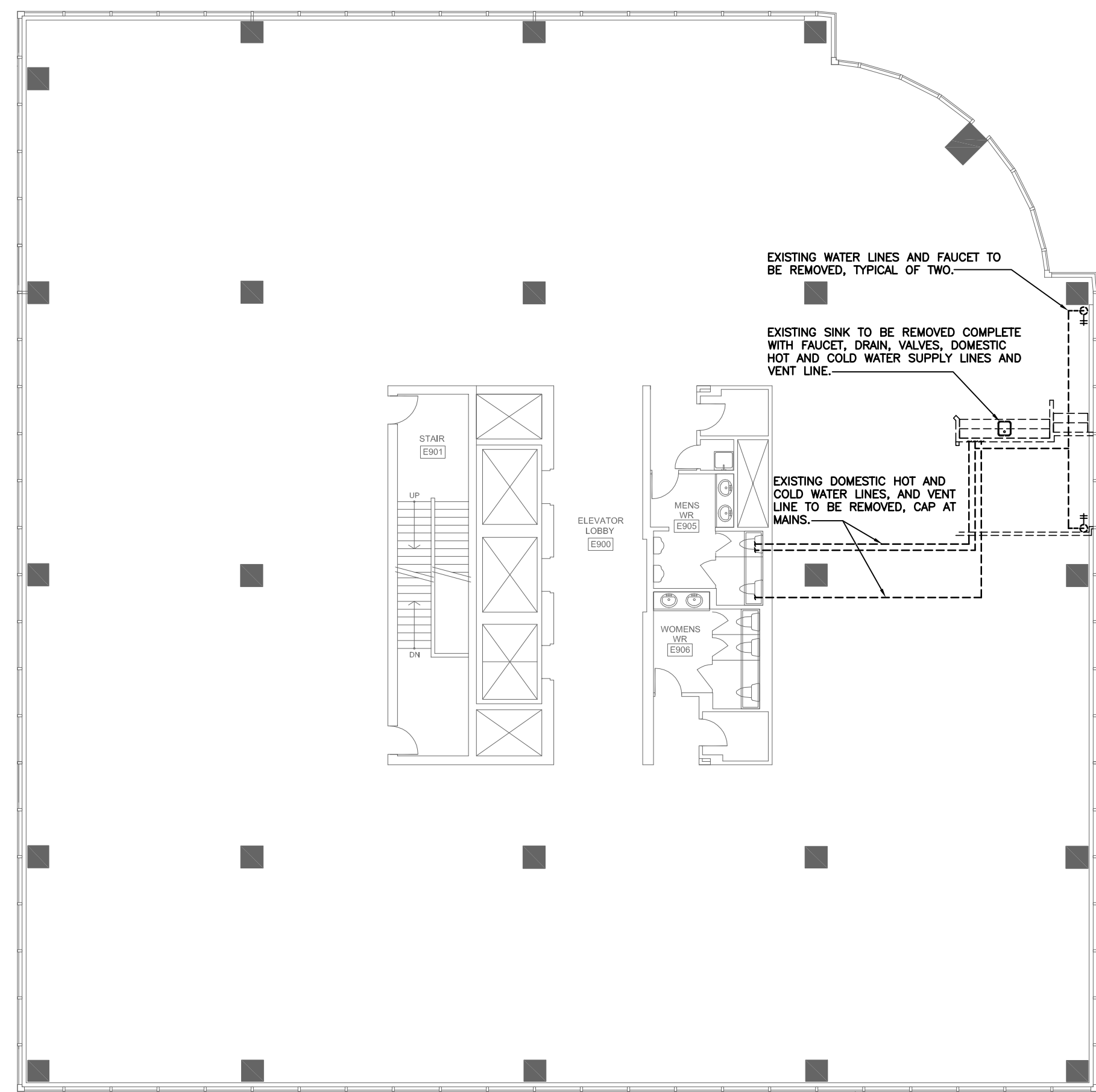
3 SIXTH FLOOR PLAN - DEMOLITION  
M1 1:150



4 SEVENTH FLOOR PLAN - DEMOLITION  
M1 1:150



5 EIGHT FLOOR PLAN - DEMOLITION  
M1 1:150



6 NINTH FLOOR PLAN - DEMOLITION  
M1 1:150

NO.	DATE	ITEM	BY
0	2018-10-10	ISSUED FOR TENDER	WT

REVISIONS

PROJECT

SHERWOOD PLACE  
RENOVATION  
PACKAGE 1:  
FLOORS 3,4,6,7,8,9

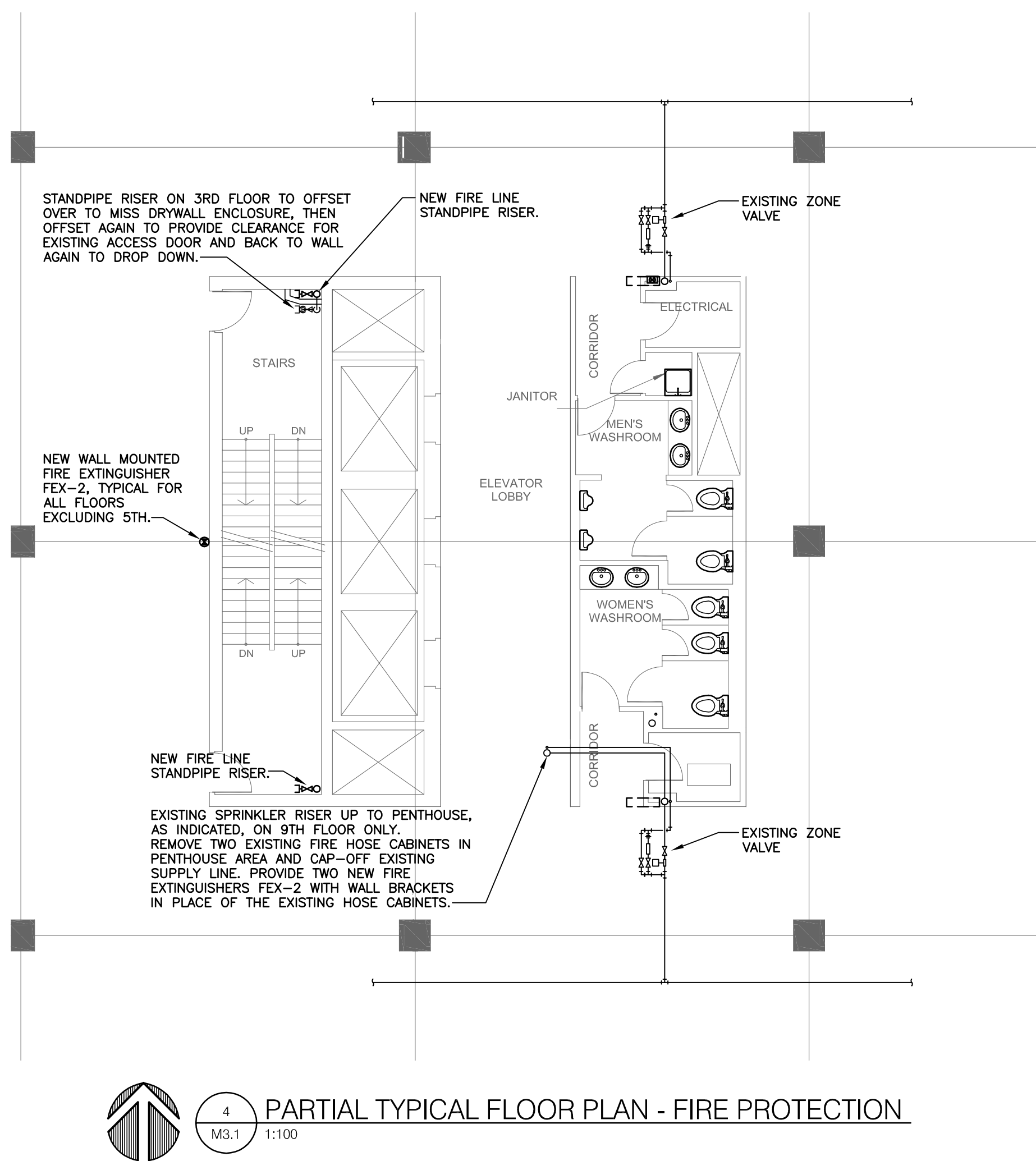
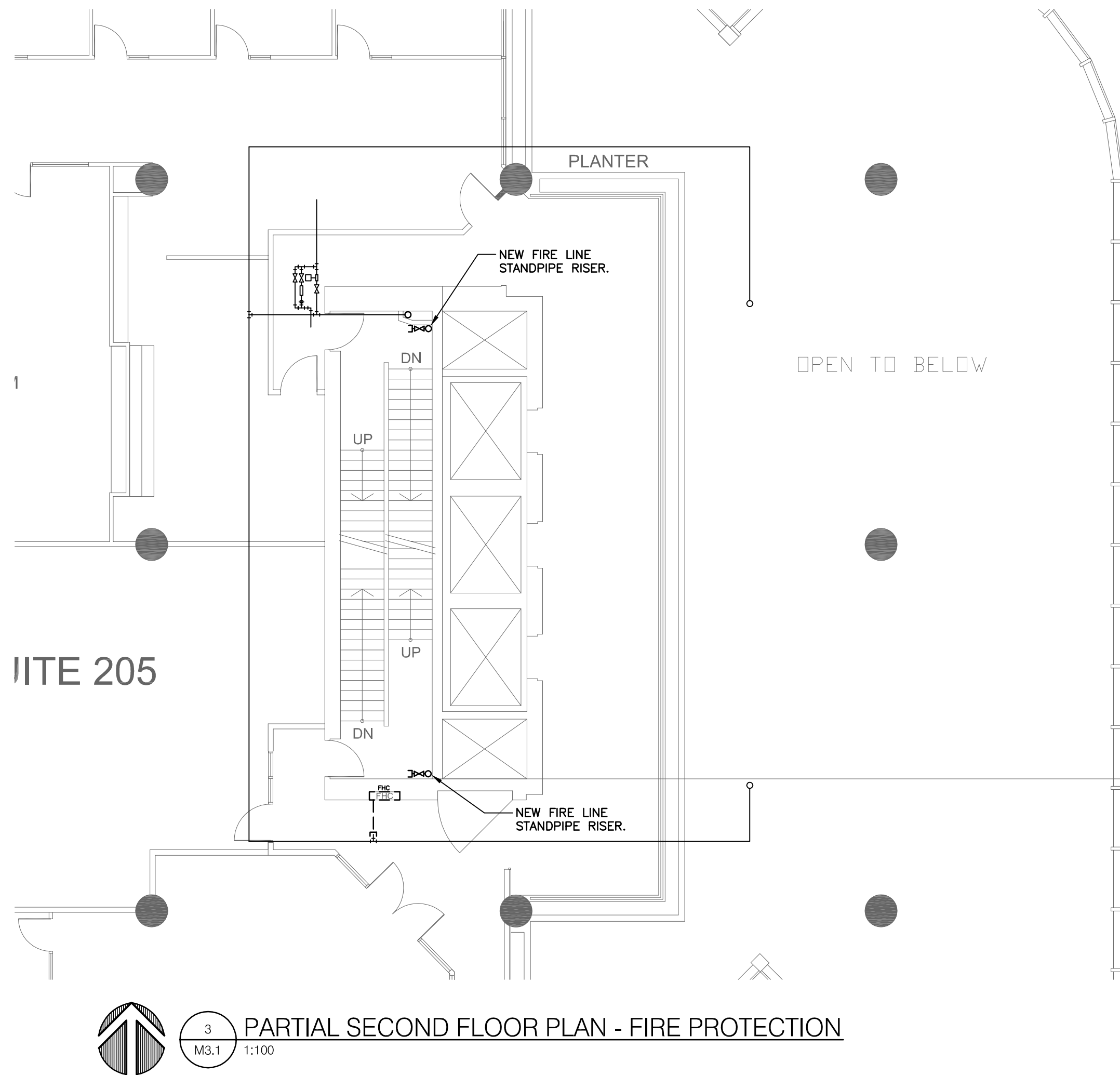
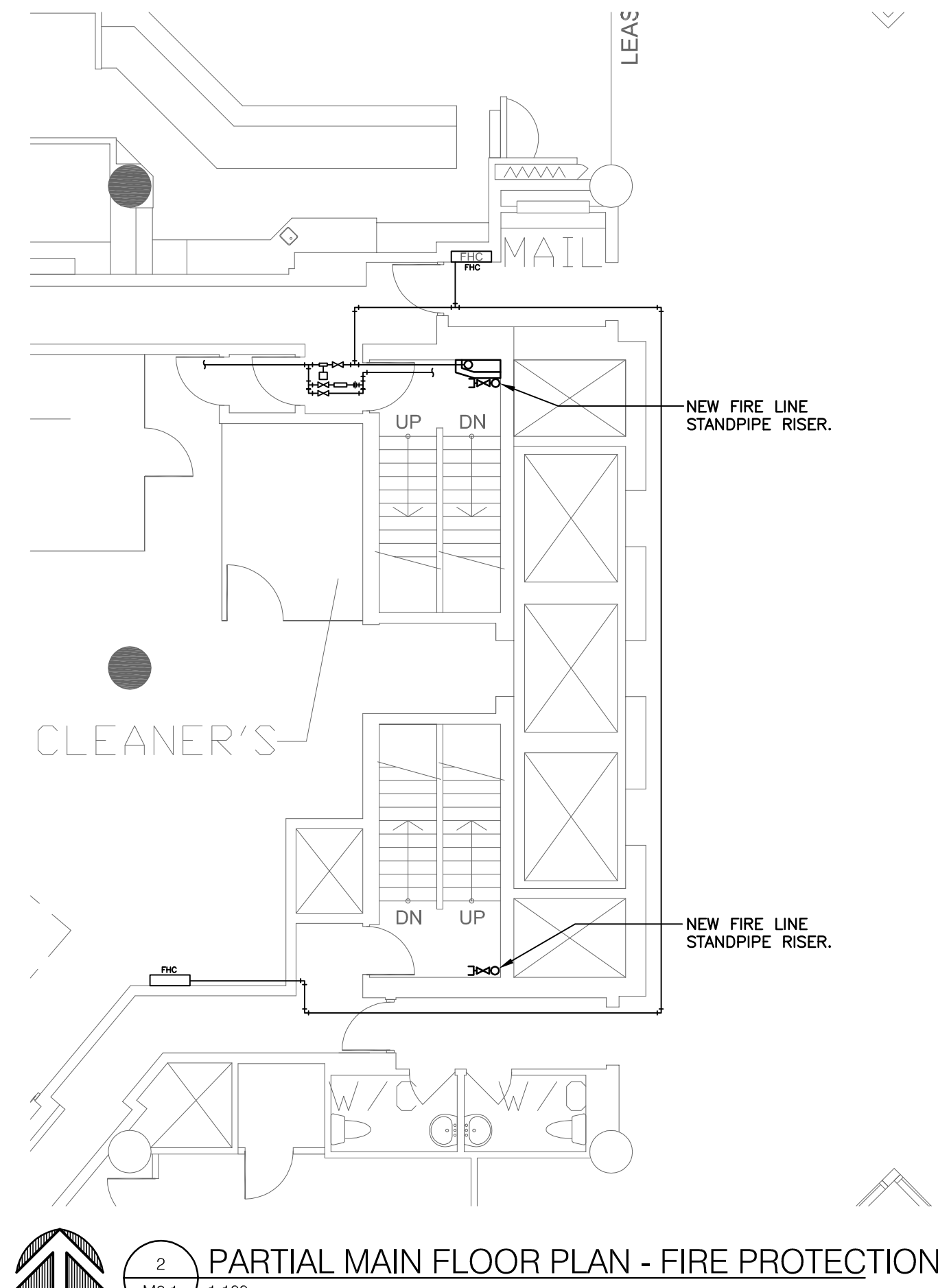
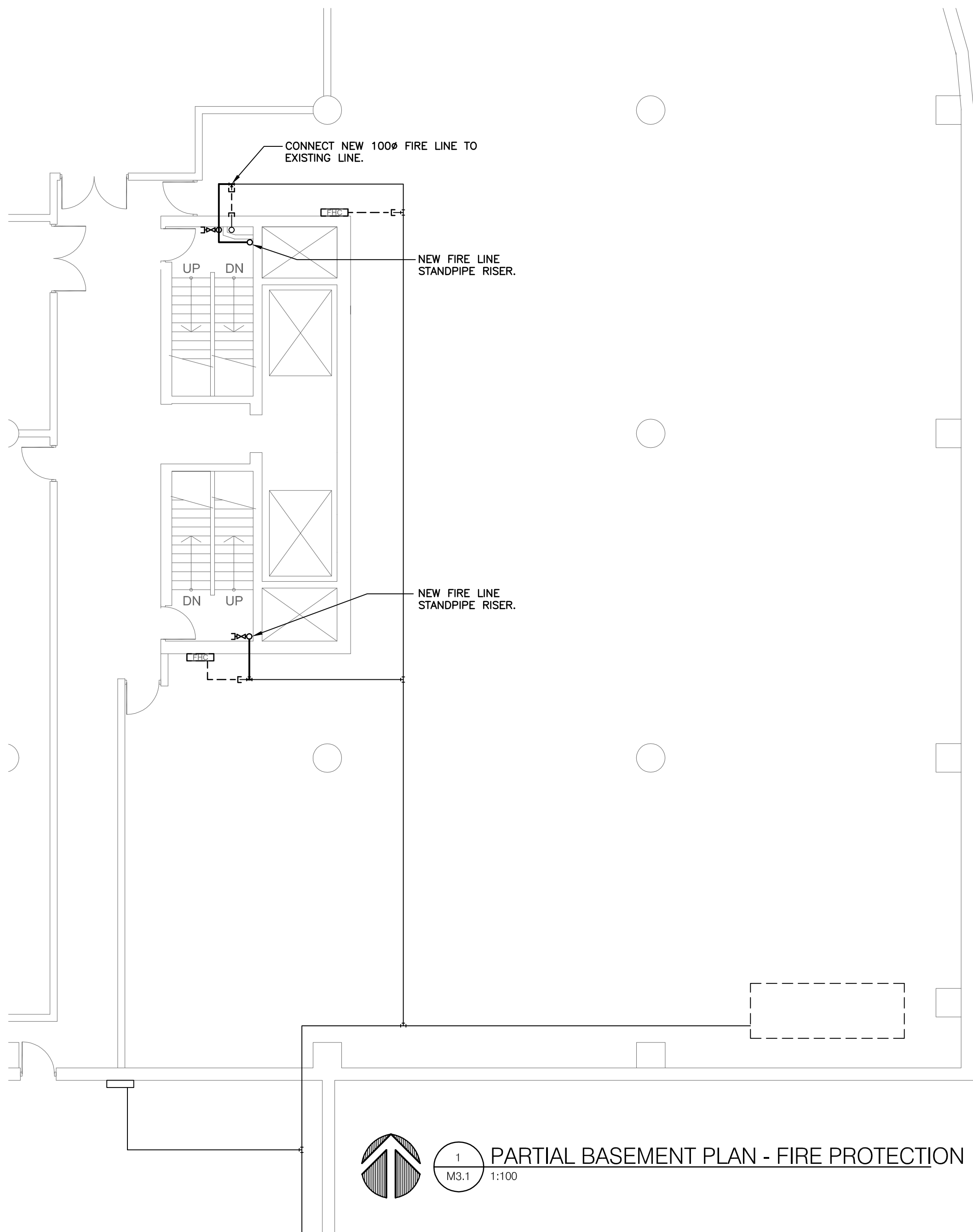
1900 ALBERT STREET  
REGINA, SASKATCHEWAN

SHEET TITLE

FLOOR PLANS  
DEMOLITION  
MECHANICAL

DESIGN BY	G.F.
DRAWN BY	W.T.
CHECKED	G.F.
APPROVED	
OWNER	DREAM
SCALE	AS NOTED
DATE	2018/10/10
FILE NO.	DRAWING NO.
Number of Sheets	M1.1



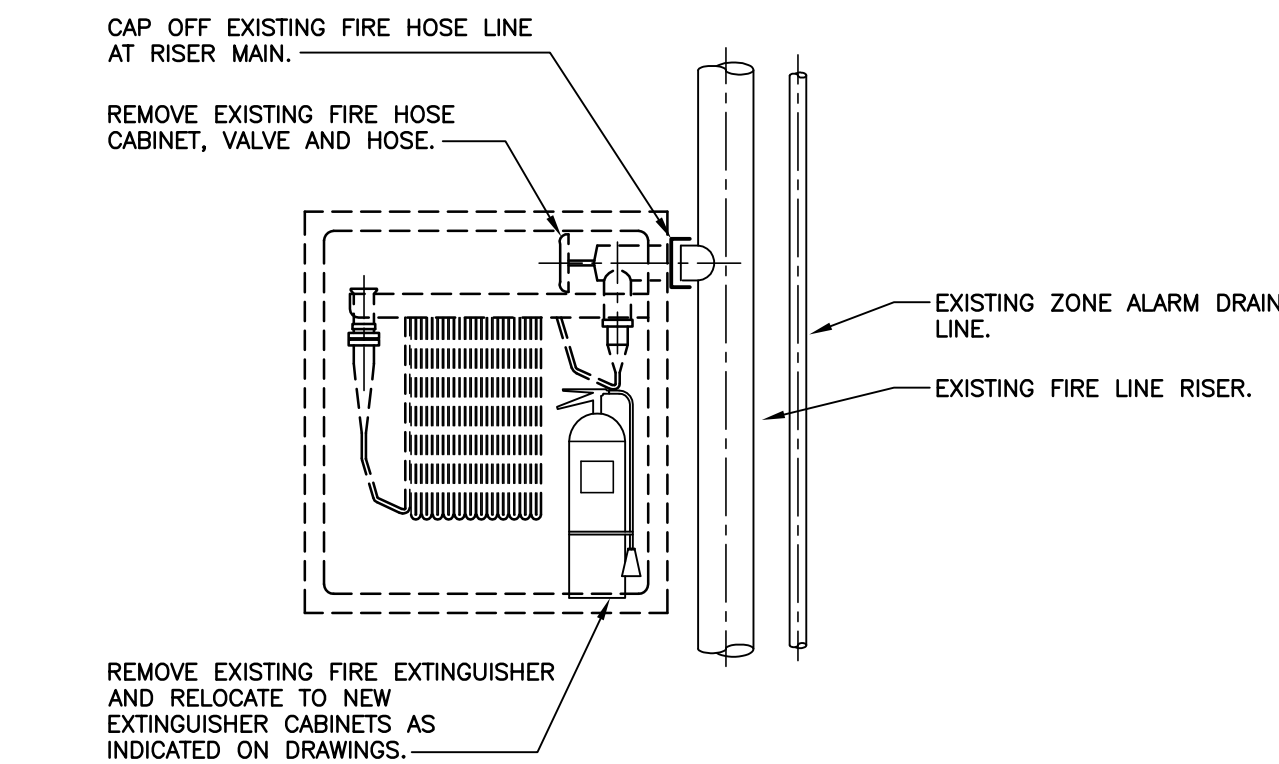
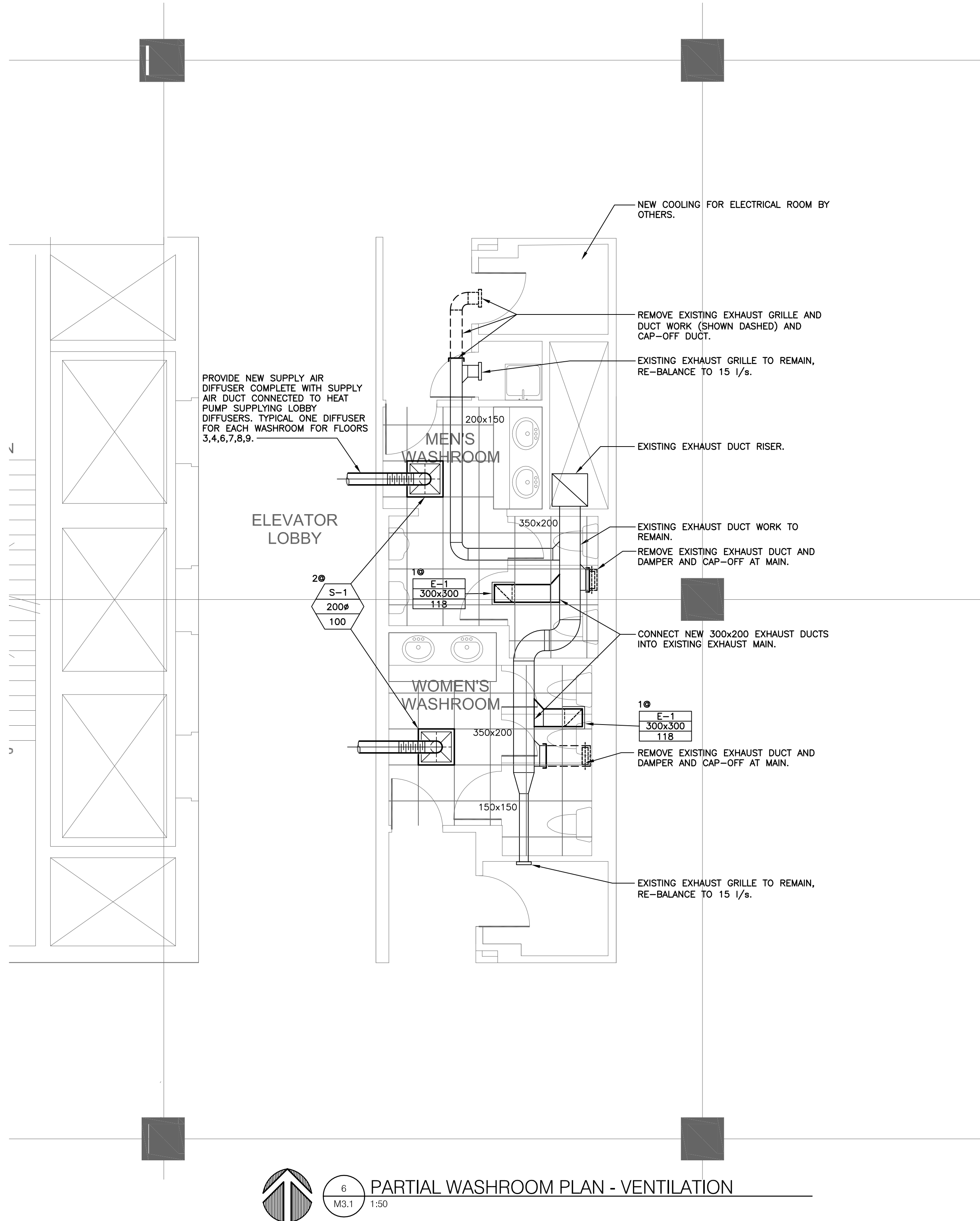
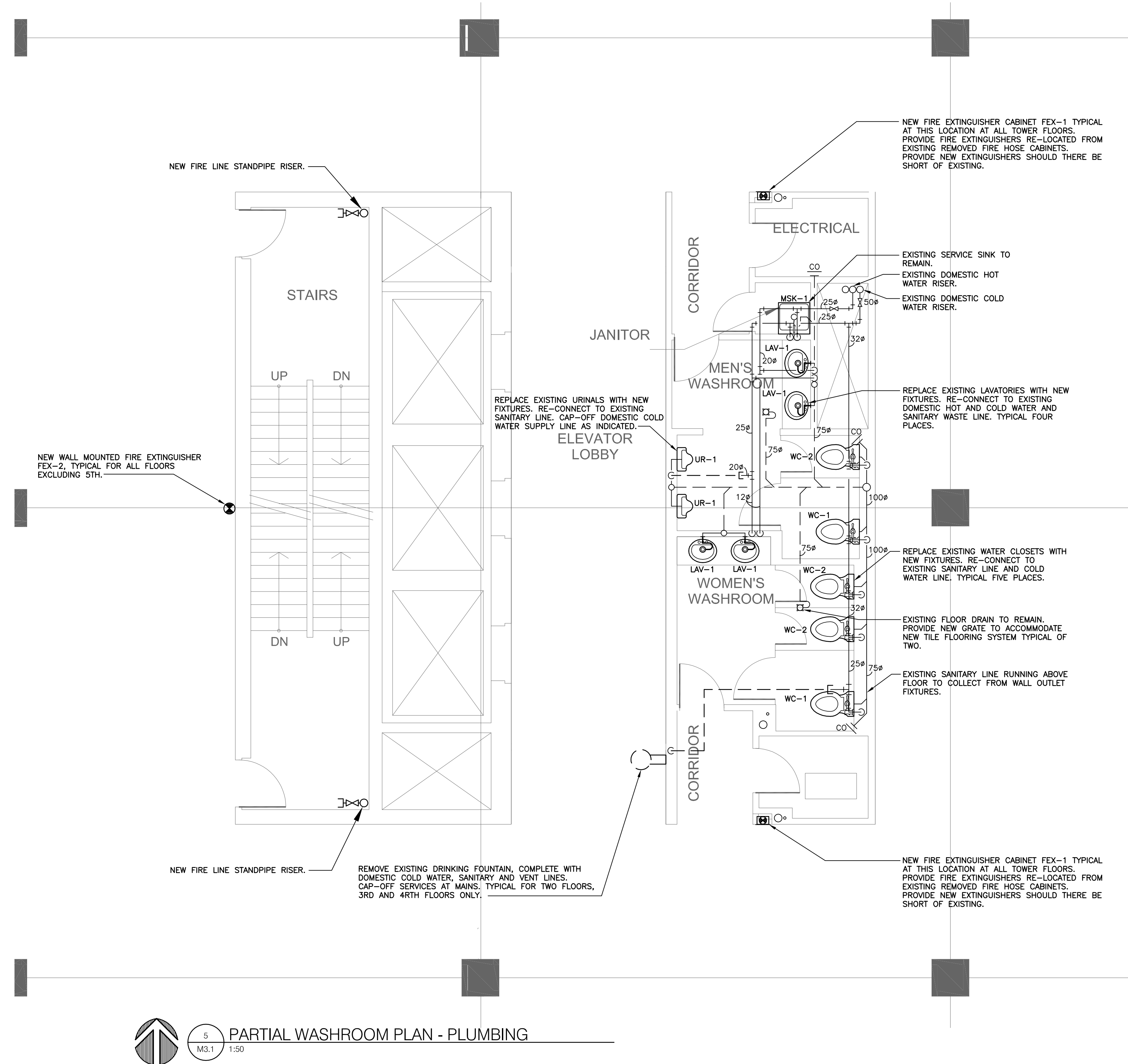


PLUMBING NOTES:

1. REFER TO EQUIPMENT SHOP DRAWINGS/INSTALLATION MANUALS FOR EXACT DETAILS ON FIXTURE CONNECTIONS. REVISE LINE SIZES & LOCATIONS AS REQUIRED.
2. MINIMUM LINE SIZE FEEDING THE EQUIPMENT SHALL NOT BE SMALLER THAN THE CONNECTION SIZE.
3. CLEARLY LABEL ALL GREY WATER PIPING. PIPING SHALL BE PURPLE. REFER TO SPECIFICATIONS. MECHANICAL CONTRACTOR TO CONFIRM HANDING OF EQUIPMENT PRIOR TO ORDERING, AND MAKE ANY NECESSARY CHANGES AS REQUIRED.
5. CONNECT DISHWASHERS IN LOCATIONS INDICATED ON ARCHITECTURAL PLANS.
6. DOMESTIC HOT REPAIR AUTOMATIC FLOW CONTROL VALVES ARE ALL TO BE 0.03 IPS UNLESS NOTED OTHERWISE.
7. DEVICES OR EQUIPMENT REQUIRING ACCESS, SHALL NOT BE LOCATED IN INACCESSIBLE LOCATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR RELOCATING THESE, OR PROVIDING LOCKABLE ACCESS HATCHES.

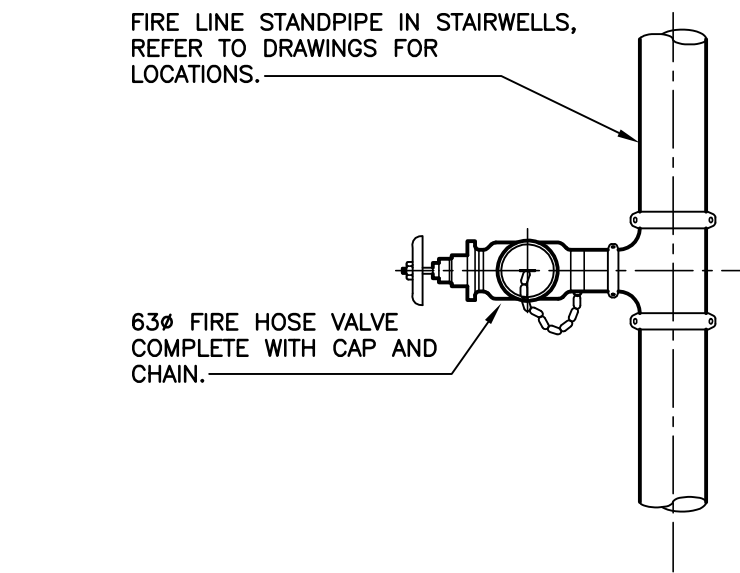
CORING NOTE:

1. CONTRACTOR TO GRP ALL WALLS AND SLABS FULL DEPTH TO IDENTIFY ALL REINFORCING AND EMBED UTILITIES. CONTRACTOR TO PROVIDE COLOUR CODED REPORT IDENTIFYING EMBEDDED ITEMS ON TWO'S WITH DIMENSIONS FROM MINIMUM 2 INTERSECTING GRIDS. CONTRACTOR MUST HAVE CORING APPROVED BY CONSULTANTS PRIOR TO COMMENCING.



EXISTING FIRE HOSE CABINET DETAIL

M3.1 N.T.S.



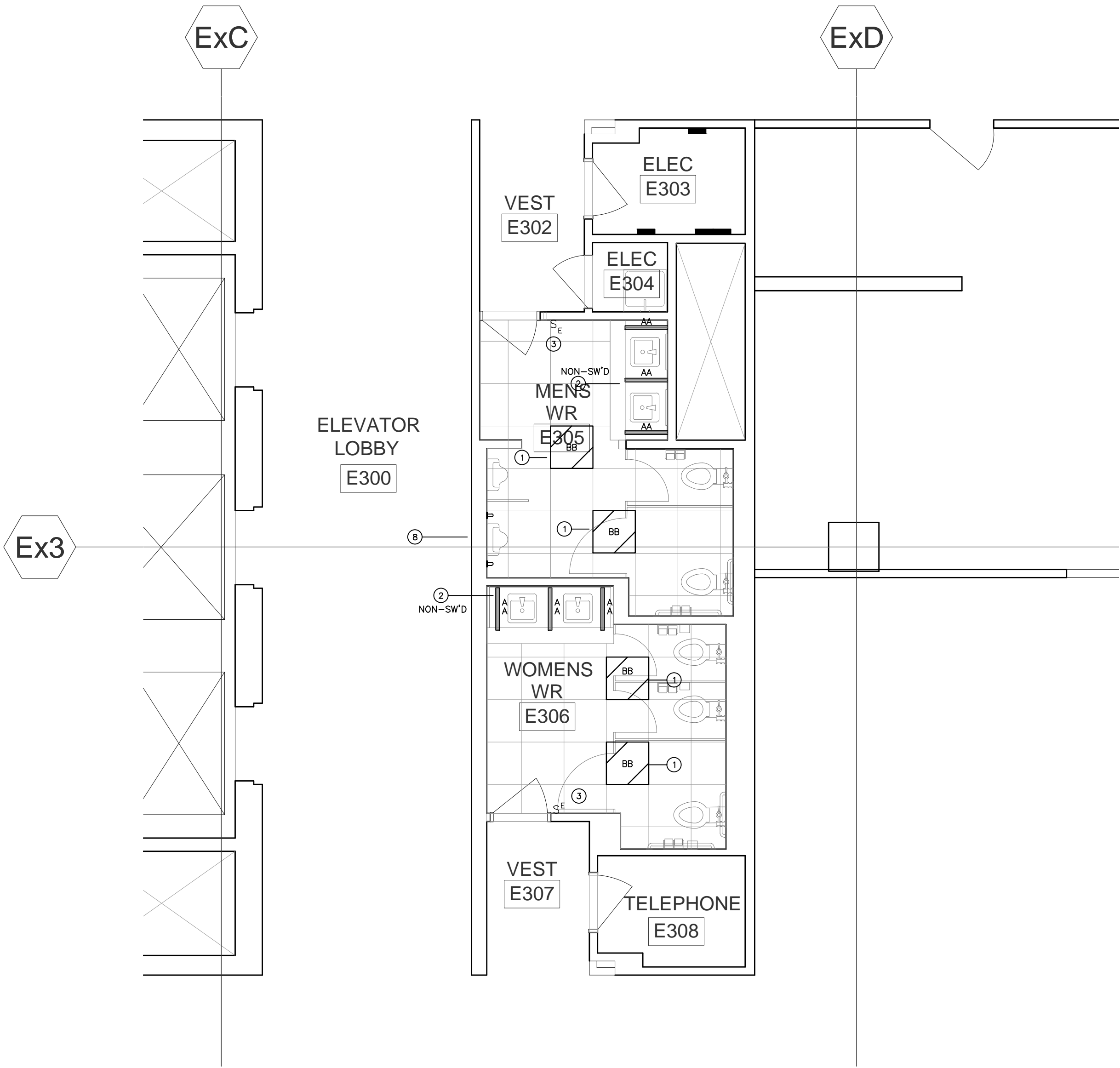
NEW STANDPIPE CONNECTION DETAIL

M3.1 N.T.S.

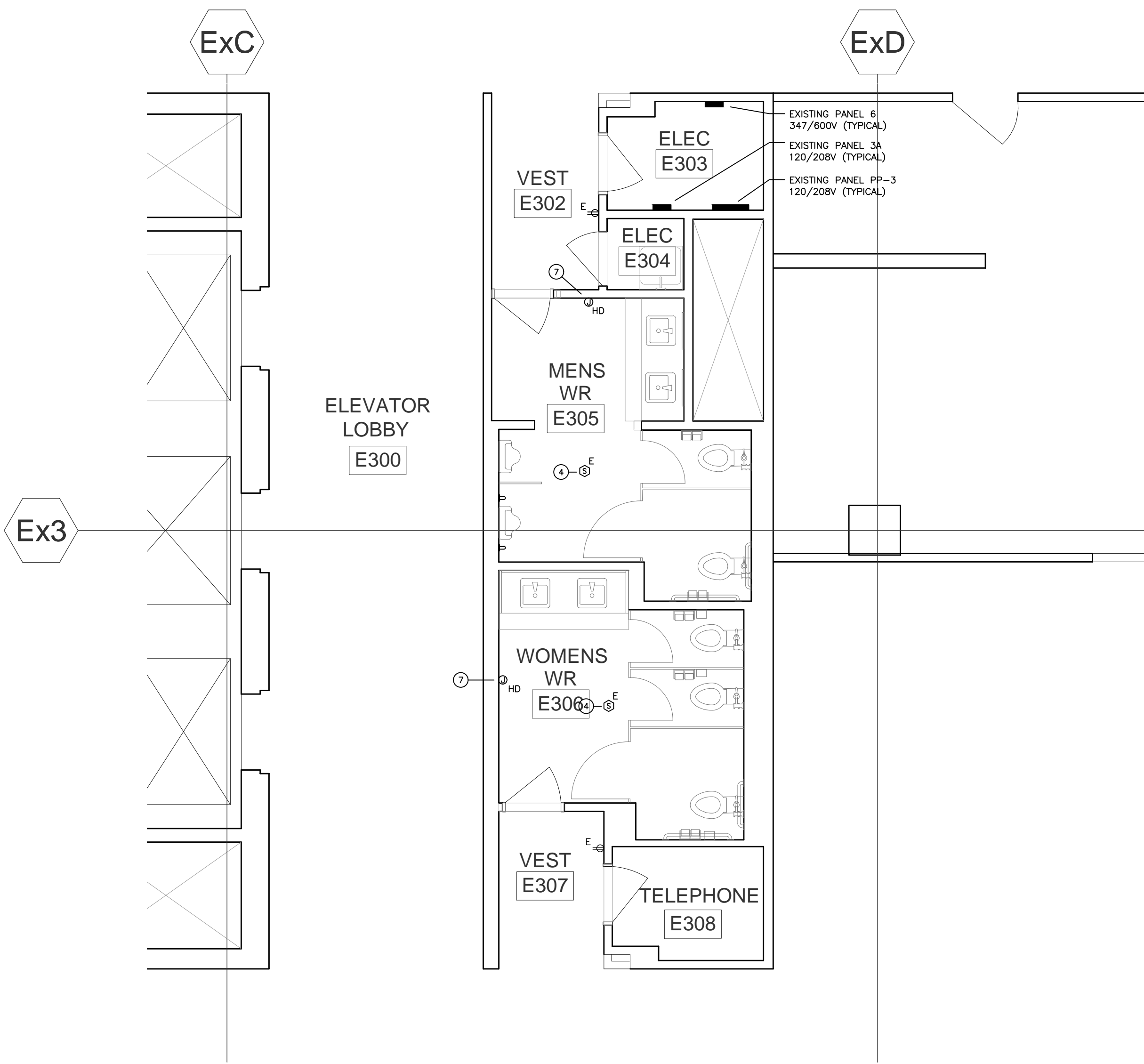








**1**  
TYPICAL WASHROOM LIGHTING PLAN  
1:50



**2**  
TYPICAL WASHROOM POWER/SYSTEMS PLAN  
1:50

**SYMBOL SCHEDULE**

- JUNCTION BOX/OUTLET BOX.
- RECESSED FUTURE, REFER TO FUTURE SCHEDULE.
- RECESSED LUMINAIRE CONNECTED TO EMERGENCY LIGHTING CIRCUIT.
- NON-SW'D INDICATES NON-SWITCHED LUMINAIRE.
- MOTOR CONNECTION, COORDINATE FINAL LOCATION ON SITE, REFER TO MOTOR CONTROL SCHEDULE - 'SIP' DESIGNATES MOTOR THERMAL SWITCH MOUNTED AT UNIT.
- HARDWIRED HAND DRYER CONNECTION.
- ELECTRICAL DISTRIBUTION PANEL, SURFACE/RECESSED.
- MOLDED CASE TYPE CIRCUIT BREAKER, 15 AMP UNLESS OTHERWISE NOTED.
- CEILING MOUNTED F/A SPEAKER.
- SUFFIX 'E' INDICATES DEVICE IS EXISTING AND SHALL REMAIN.
- DUPLEX GROUNDED RECEPTACLE.

**FIXTURE SCHEDULE**

TYPE AA SHALL BE RECESSED LED LUMINAIRE SUITABLE FOR DRYWALL INSTALLATION. 347 VOLT, 1000 LUMENS/1220mm SECTION, 4000K COLOUR TEMPERATURE. FIXTURE SHALL BE 50mm (W) X 1220mm OVERALL LENGTH. PROVIDE 610mm VERTICAL SECTION, 90° CONTIGUOUS, FULLY ILLUMINATED CORNER AND 610mm HORIZONTAL SECTION. FIXTURE SHALL BE EQUIPPED WITH OPAL DIFFUSED ACRYLIC LENS, FLUSH LENS WITH FLANGE. HIGHLY REFLECTIVE INTERIOR, WHITE FINISH.

AXIS SCULPT SERIES  
LUMINERX VAI.5 PATTERNS SERIES  
3G LIGHTING LINA SERIES

FIXTURE TYPE BB SHALL BE RECESSED LED LINEAR LUMINAIRE. 347 VOLT, 3000 LUMENS, 30 WATT, 4000K COLOUR TEMPERATURE 610mm (W) X 610mm (L). LUMINAIRE SHALL BE SUITABLE FOR RECESSED T-JAW INSTALLATIONS. FIXTURE SHALL BE BAKED ON PANTED WHITE HOUSING WITH HIGHLY REFLECTIVE INTERIOR AND COMPLETE WITH DIFFUSED ACRYLIC OPAL LENS.

METALUX ENCOUNTER SERIES  
PHILIPS SLUXSPACE LED SERIES  
MARK LIGHTING WHISPER SERIES

**DETAIL 1 AND 2 DRAWING NOTES:**

- EXISTING WASHROOM LIGHTING CIRCUITRY SHALL BE REUSED FOR NEW LED WASHROOM LIGHTING. CONTRACTOR SHALL PROVIDE NEW FLEXIBLE ARMoured CONNECTION FROM EXISTING JUNCTION BOX, PER LIGHT, FOR NEW LUMINAIRES.
- FIXTURE SHALL BE CONNECTED TO EXISTING EMERGENCY LIGHTING CIRCUIT IN WASHROOM. PROVIDE NEW FLEXIBLE ARMoured CONNECTION FROM NEAREST JUNCTION BOX IN CEILING SPACE.
- EXISTING WALL MOUNTED OCCUPANCY SENSOR SHALL REMAIN AND CONTROL NEW TYPE BB LIGHTING.
- EXISTING FIRE ALARM SPEAKER SHALL BE RE-INSTALLED IN NEW CEILING.
- PROVIDE NEW CONNECTED TO RECESSED TYPE A LIGHT FROM EXISTING VESTIBULE LIGHTING CIRCUIT. PROVIDE NEW FLEXIBLE ARMoured CONNECTED FROM NEAREST JUNCTION BOX IN CEILING SPACE.
- TYPE AA SHALL BE 1220mm OVERALL LENGTH, PROVIDE 610mm VERTICAL SECTION AND 610mm HORIZONTAL SECTION, COMPLETE WITH 90° FULLY ILLUMINATED AND CONTIGUOUS CORNER.
- PROVIDE HARDWIRED CONNECTION TO HAND DRYER, CONNECTION SHALL BE 120V, 20A DEDICATED CONNECTION. CONFIRM FINAL LOCATION AND MOUNTING HEIGHT PRIOR TO ROUGH IN. PROVIDE NEW 20A 1P BREAKER IN EXISTING PANEL AND CABLING, USE OF AC-90 SHALL BE ACCEPTABLE FOR HAND DRYER.
- APPROXIMATE LOCATION FOR NEW SWITCHES IDENTIFIED IN SEPARATE PRICE NOTES.

**GENERAL NOTES**

- DETAILS 1 AND 2 DRAWING E1.1 REFERENCE TYPICAL LIGHTING, POWER AND SYSTEMS LAYOUTS. PROVISIONS SHALL BE PROVIDED FOR LEVELS 3, 4, 6, 7, 8 AND 9.
- EXISTING FIRE ALARM DEVICES ON ALL LEVELS SHALL BE MAINTAINED DURING AND POST CONSTRUCTION.
- ALL HEAT PUMP CONNECTIONS SHALL BE MADE FROM EXISTING TYPICAL 'PP' ON EACH FLOOR. REFER TO E2.1 FOR TYPICAL PANEL SCHEDULE.

**GENERAL DEMOLITION NOTES**

- EXISTING LIGHTING IN ALL WASHROOMS AND ELEVATOR LOBBIES SHALL BE REMOVED. PULL CABLING BACK TO NEAREST JUNCTION BOX.
- EXISTING ELEVATOR LOBBY BULKHEADS SHALL BE REMOVED ANY FIRE ALARM DEVICES SHALL BE MAINTAINED DURING AND POST DEMOLITION.
- REMOVE WALL MOUNTED LIGHTS IN VESTIBULES.
- EXISTING FIRE ALARM SYSTEM IS NOTIFIER.
- DEMOLITION SHALL BE COMPLETED FOR LEVELS 3, 4, 6, 7, 8 AND 9.

**SEPARATE PRICE NOTES**

- CONTRACTOR SHALL PROVIDE A SEPARATE PRICE TO PROVIDE NEW LED LUMINAIRES FOR LEVELS 3, 4, 6, 7, 8, AND 9. 347 VOLT IN SLAB CONDUIT LIGHTING CIRCUIT IS EXISTING AND SHALL BE REUSED. CONTRACTOR SHALL PROVIDE NEW AC-90 WHIPS, PER LUMINAIRE DASH CHANNING SHALL NOT BE ACCEPTABLE, FROM NEAREST JUNCTION BOX.
- REVISE LIGHTING CONTROL TO PROVIDE ON/OFF SWITCH AT ELEVATOR LOBBY, PER CIRCUIT.
- PROVIDE QUANTITY OF 160 LUMINAIRES, PER FLOOR TO BE INSTALLED ON AN 2440mm (8') X 3000mm (10') CC PATTERN.
- SEPARATE PRICE SHALL PROVIDE BREAKOUT PRICE INDICATING SASKPOWER COMMERCIAL LIGHTING INCENTIVE CREDIT FOR NEW TYPE CC AND DD LUMINAIRES.
- PROVIDE BREAKOUT PRICE FOR LABOUR AND MATERIALS FOR TYPICAL FLOOR FOR EACH LUMINAIRE TYPE.
- TYPE CC SHALL BE RECESSED LED FLAT PANEL, 347 VOLT, 3000mm X 1220mm, 40 WATT, 4000 LUMENS, 4000K COLOUR TEMPERATURE. FIXTURE SHALL BE EQUIPPED WITH INTEGRAL 0-10 VOLT DIMMING AND SHALL HAVE FULLY DIFFUSED ACRYLIC LENS, WHITE TRIM. MDC2 LITE LED PANEL SERIES OF FLUXPANEL SERIES LITHONIA EPRAL SERIES
- TYPE DD SHALL BE LUMINAIRE SHALL BE RECESSED LED TROFFER, 347 VOLT, 40 WATT, 4000 LUMENS, 4000K COLOUR TEMPERATURE, CENTER DIFFUSED OPAL ACRYLIC LENS 0-10 VOLT DIMMING DIMMABLE. LITHONIA BLT 1XX SERIES OF FLUXPANEL 1XX SERIES METALUX 14RTC SERIES

NO.	DATE	ITEM	BY
9	2018-10-05	ISSUED FOR TENDER	LKV

**REVISIONS**

**PROJECT**

SHERWOOD PLACE  
RENOVATION  
PACKAGE 1:  
FLOORS 3, 4, 6, 7, 8, 9

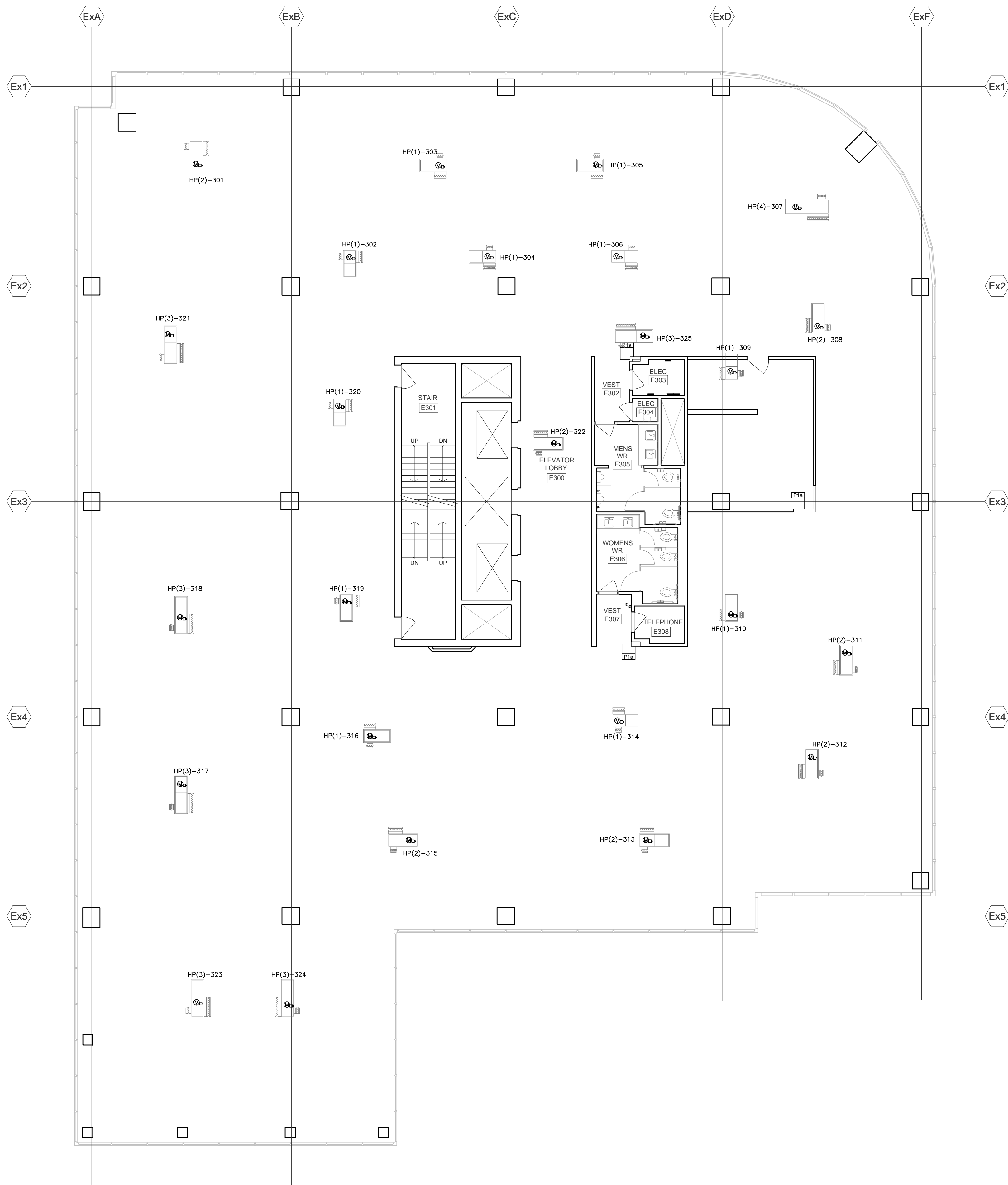
1900 ALBERT STREET  
REGINA, SASKATCHEWAN

**SHEET TITLE**

LIGHTING AND POWER  
SYSTEMS PLANS  
LEVELS 3, 4, 6, 7, 8, 9

DESIGN BY	LKV
DRAWN BY	LKV
CHECKED	MKL
APPROVED	
OWNER	DREAM
SCALE	AS NOTED
DATE	
FILE NO.	DRAWING NO.
Number of Sheets	E1.1





**HEAT PUMP LAYOUT - 3RD FLOOR (TYPICAL)**  
1  
EZ.1  
NORTH  
1:50

MECHANICAL EQUIPMENT SCHEDULE - LEVEL 3									
ITEM	DESCRIPTION	MCA	HP	KW	VOLTAGE	#	FLA	OCFD	FEEDERS
HP(1)-XX	TYPE 1 HEAT PUMP (XX = IDENTIFIER)	6.82	1/10	-	208	1	5.64	15A 2P	2 #12 RW90 + #12 INS. Cu. BND IN 21C
HP(2)-XX	TYPE 2 HEAT PUMP (XX = IDENTIFIER)	11.3	1/3	-	208	1	9.4	20A 2P	2 #12 RW90 + #12 INS. Cu. BND IN 21C
HP(3)-XX	TYPE 3 HEAT PUMP (XX = IDENTIFIER)	20	3	-	208	-	16.5	30A 2P	2 #10 RW90 + #12 INS. Cu. BND IN 21C
HP(4)-XX	TYPE 4 HEAT PUMP (XX = IDENTIFIER)	22.6	1/2	-	208	1	19.10	30A 2P	2 #10 RW90 + #12 INS. Cu. BND IN 21C

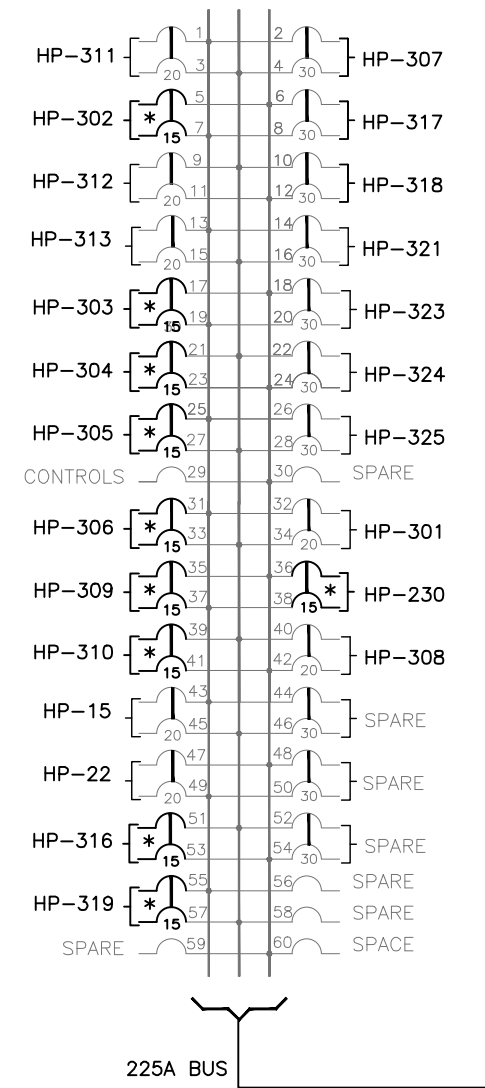
**MECHANICAL EQUIPMENT SCHEDULE GENERAL NOTES**

1. PROVIDE LOCAL DISCONNECT TO BE MOUNTED AT EQUIPMENT.
2. ALL CABLING AND CONDUIT SHALL BE NEW.

**GENERAL MECHANICAL HEAT PUMP NOTES**

1. DEMOLITION OF EXISTING HEAT PUMPS ON LEVELS 3, 4, 5, 6, 7, 8 AND 9 SHALL BE INCLUDED BY ELECTRICAL CONTRACTOR. HEAT PUMP DEMOLITION AND INSTALLATION SHALL BE COORDINATED AND PHASED WITH MECHANICAL CONTRACTOR INSTALLING HEAT PUMP PACKAGE. REFER TO FRONT END DOCUMENTATION FOR PHASING DOCUMENTATION AND NOTES.
2. LOCATIONS OF HEAT PUMPS SHOWN FOR LEVEL 3 ARE TYPICAL SHALL BE PROVIDED FOR LEVELS 3, 4, 5, 6, 7, 8, AND 9. FINAL LOCATIONS OF MECHANICAL EQUIPMENT SHALL BE CONFIRMED PRIOR TO ROUGH IN.
3. UPDATED TYPICAL PANEL SCHEDULE PP-3 SHOWN IS BASED ON EXISTING PANEL PP-3 CONDITIONS AND SHALL BE CONFIRMED ON SITE BY CONTRACTOR PER LEVEL. EXISTING 20A-2P AND 30A-2P BREAKERS SHALL BE RE-USED WHERE POSSIBLE. ALL 15A-2P BREAKERS REQUIRED TO FEED NEW HEAT PUMPS SHALL BE NEW.
4. ALL BREAKERS NOT USED AS PART OF THIS RENOVATION SHALL REMAIN SPARE.
5. HEAT PUMP QUANTITIES (PER FLOOR) ARE INCLUSIVE AND AS FOLLOWS:  
a. 4TH FLOOR - HP-401 TO HP-424  
b. 5TH FLOOR - HP-501 TO HP-525  
c. 6TH, 7TH, 8TH AND 9TH FLOORS - HP-X01 TO HP-X23

**PANEL PP-3 (TYPICAL)**  
ELECTRICAL ROOM  
(120/208V, 3ø, 4W)



**PANEL SCHEDULE NOTES**

1. BREAKERS SHOWN WITH "\*" SHALL BE NEW.
2. BREAKERS SHOWN WITHOUT "\*" SHALL BE EXISTING AND REUSED AS SHOWN

NO.	DATE	ITEM	BY
0	2018-10-05	ISSUED FOR TENDER	LKV

**REVISIONS**

**PROJECT**

SHERWOOD PLACE  
RENOVATION  
PACKAGE 1:  
FLOORS 3, 4, 6, 7, 8, 9

1900 ALBERT STREET  
REGINA, SASKATCHEWAN

**SHEET TITLE**

MECHANICAL  
SCHEDULE AND PANEL  
SCHEDULE

DESIGN BY	LKV
DRAWN BY	LKV
CHECKED	MKL
APPROVED	
OWNER	DREAM
SCALE	AS NOTED
DATE	
FILE NO.	DRAWING NO.
Number of Sheets	E2.1





## ELECTRICAL SPECIFICATIONS

### GENERAL CONDITIONS AND INTENT

1. PROVIDE LABOUR AND MATERIALS REQUIRED TO INSTALL, TEST AND PLACE INTO OPERATION, A COMPLETE ELECTRICAL SYSTEM WITH FACILITIES AND SERVICES TO MEET THE REQUIREMENTS DESCRIBED HEREIN, AS SHOWN ON THE DRAWINGS, AND IN COMPLETE ACCORD WITH APPLICABLE CODES AND ORDINANCES.

2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2015 CANADIAN ELECTRICAL CODE, SASKATCHEWAN HUMAN RIGHTS ACCESSIBILITY STANDARD, LOCAL BY-LAWS, AND UTILITY REQUIREMENTS. WORK INVOLVING FIRE PROTECTION SHALL ALSO BE IN ACCORDANCE WITH UNDERWRITERS' LABORATORY OF CANADA, NATIONAL BUILDING CODE, NATIONAL FIRE CODE, NATIONAL STANDARD OF CANADA/UNDERWRITERS' LABORATORIES OF CANADA STANDARDS CAN/ULC-5524-06, CAN/ULC-5536-04, AND CAN/ULC-5537-04.

3. ALL WORK SHALL COMPLY WITH SASKPOWER'S REQUIREMENTS AND REGULATIONS, SUBJECT TO SASKPOWER THE NECESSARY NUMBER OF DRAWINGS AND SPECIFICATIONS FOR EXAMINATION AND APPROVAL, PRIOR TO COMMENCEMENT OF WORK. PAY ASSOCIATED FEE. IN THE EVENT OF ANY INSPECTION AUTHORITY REQUESTING CLARITY FROM THE DESIGN, NOTIFY THE CONSULTANT AND OBTAIN APPROVAL, BEFORE PROCEEDING WITH ANY WORK.

4. ALL WORK SHALL BE EXECUTED IN A WORKMANLIKE AND SUBSTANTIAL MANNER, NEAT IN ITS MECHANICAL APPEARANCE AND ARRANGEMENT. A COMPETENT REPRESENTATIVE SHALL CONSTANTLY SUPERVISE THE WORK OF THIS DIVISION FROM BEGINNING TO COMPLETION AND FINAL ACCEPTANCE. SO FAR AS POSSIBLE, THE SAME SUPERVISOR AND WORKMEN SHALL BE EMPLOYED THROUGHOUT THE PROJECT'S DURATION. MATERIAL AND WORKMANSHIP NOT MEETING THE STANDARD INTENDED AND REQUIRED BY THIS SPECIFICATION SHALL, UPON INSTRUCTION FROM THE CONSULTANT, BE PROPERLY REPLACED WITHOUT FURTHER CHARGE OR CONSIDERATION.

5. ALL REFERENCES TO KNOWN STANDARD SPECIFICATIONS SHALL MEAN AND INTEND THE LATEST EDITION OF SUCH SPECIFICATION.

6. EXAMINE ALL DRAWINGS TO ENSURE THAT WORK UNDER THIS DIVISION CAN BE PROPERLY INSTALLED WITHOUT INTERFERENCE WHERE DISCREPANCIES, AMBIGUITIES, OBVIOUS OMISSIONS OR ERRORS HAVE BEEN MADE IN DRAWINGS AND SPECIFICATIONS, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CLARIFY SAME PRIOR TO TENDER CLOSING. NO ALLOWANCES WILL BE MADE AFTER CONTRACT AWARD FOR ANY EXPENSE INCURRED BY THE CONTRACTOR FOR HAVING TO ADJUST THE WORK TO PROPERLY CONFORM.

7. ELECTRICAL DRAWINGS FOR THE WORK UNDER THIS DIVISION ARE DIAGRAMMATIC AND APPROXIMATELY TO SCALE, UNLESS DETAILLED OTHERWISE. THEY ESTABLISH SCOPE, MATERIAL, AND INSTALLATION QUALITY, AND ARE NOT DETAILED INSTALLATION INSTRUCTIONS. FOLLOW MANUFACTURER'S RECOMMENDED INSTALLATION DETAILS AND PROCEDURES FOR EQUIPMENT SUPPLEMENTED BY DETAILS GIVEN HEREIN AND ON PLANS. SUBJECT TO APPROVAL OF THE CONSULTANT.

8. ASSUME FULL RESPONSIBILITY FOR LAYOUT OF THIS WORK, AND FOR ANY DAMAGE CAUSED TO THE OWNER OR OTHER DIVISIONS BY IMPROPER LOCATION OR CARRYING OUT OF THIS WORK. WIRELESS OUTLETS OR EQUIPMENT MAY EFFECT ARCHITECTURAL OR SITE TREATMENT DESIRED, CONTACT THE CONSULTANT AND FOR INSTRUCTIONS ON DETAILED DRAWINGS.

9. THE ELECTRICAL CONTRACTOR SHALL CONNECT TO EQUIPMENT FURNISHED IN OTHER DIVISIONS AND BY OWNER. COOPERATE FULLY WITH THE CONSULTANT AND OTHER TRADERS OF ELECTRICALLY RELATED EQUIPMENT TO ENSURE PROPER ARRANGEMENT OF, AND PROVISIONS FOR ALL ELECTRICAL EQUIPMENT.

10. BEFORE COMMENCING THE WORK, THE ELECTRICAL CONTRACTOR SHALL EXAMINE THE WORK OF OTHER SUB-TRADERS AND REPORT AT ONCE ANY DEFECTS OR INTERFERENCES AFFECTING THE WORK UNDER THIS CONTRACT, OR THE GUARANTEE OF SAME.

11. INSTALL EQUIPMENT GENERALLY IN LOCATIONS AND ROUTES SHOWN, CLOSE TO BUILDING STRUCTURE WITH MINIMUM INTERFERENCE WITH OTHER SERVICES OR FREE SPACE. REMOVE AND REPLACE IMPROPERLY INSTALLED EQUIPMENT AT THE CONSULTANT'S OR CONTRACTOR'S DISCRETION AT NO CHARGE.

12. CEILING AND FLOOR OUTLET SYMBOLS ARE SCALED TO CENTRE LINE OF SYMBOL; SYMBOL DOES NOT INDICATE THE SIZE OR SHAPE. MOUNTING HEIGHT SHALL BE MEASURED TO THE LOWEST POINT OF CEILING MOUNTED EQUIPMENT.

13. WALL OUTLETS ARE SCALED TO THE PERPENDICULAR CENTRE LINE OF THE SYMBOL. MOUNTING HEIGHTS FOR ALL WALL MOUNTED OUTLETS SHALL BE MEASURED TO THE HORIZONTAL CENTRE LINE.

14. LOCATION OF LIGHTING OUTLETS AND RECEPTABLES IN MECHANICAL OR EQUIPMENT ROOMS AND SIMILAR AREAS SHALL BE FINALIZED DURING CONSTRUCTION TO ONE OPTIMUM ARRANGEMENT. THE CONSULTANT SHALL APPROVE FINAL LOCATION BEFORE INSTALLATION.

15. CHANGE LOCATION OF OUTLETS AT NO EXTRA COST OR CREDIT, PROVIDING DISTANCE DOES NOT EXCEED 3000 MM, AND INFORMATION IS GIVEN BEFORE INSTALLATION.

16. AS THIS PROJECT INVOLVES A RENOVATION TO AN OCCUPIED EXISTING BUILDING, THE CONTRACTOR SHALL VISIT THE SITE DURING THE TENDERING PERIOD, AND THOROUGHLY SATISFY HIMSELF THAT THE WORK CONTAINED IN THESE DRAWINGS AND SPECIFICATIONS CAN BE CARRIED OUT. NO ALLOWANCE WILL BE MADE AFTER CONTRACT AWARD FOR ANY EXPENSE INCURRED BY THE CONTRACTOR FOR HAVING TO ADJUST THIS WORK TO PROVIDE A COMPLETE, FULLY OPERATIONAL INSTALLATION.

17. SHOULD ANY CUTTING OR REMOVAL OF EITHER UNFINISHED OR FINISHED WORK BE REQUIRED, THE CONTRACTOR SHALL EMPLOY THE PARTICULAR TRADE WHOSE WORK IS INVOLVED, TO DO SUCH CUTTING AND PATCHING, AND SHALL PAY FOR ANY RESULTING COSTS.

18. HOLES REQUIRED IN EXISTING CONSTRUCTION TO ACCOMMODATE CONDUITS OR WIREWAYS SHALL BE CUT NEATLY OR DRILLED BY THIS DIVISION.

### MATERIALS

1. PROVIDE MATERIALS AND EQUIPMENT IN ACCORDANCE WITH SPECIFICATION REQUIREMENTS. ALL GOODS AND MATERIALS SHALL BE NEW UNLESS OTHERWISE NOTED. ALL MATERIALS SHALL CARRY CERTIFIED DESIGN WHICH IS NOT CSA CERTIFIED OR APPROVED SPECIAL APPROVAL FROM THE CONSULTANT AND THE ELECTRICAL INSPECTION DEPARTMENT.

2. ALL FIRE ALARM EQUIPMENT SHALL CARRY ULCD APPROVAL LABEL.

3. IN NO INSTANCE SHALL THE STANDARD ESTABLISHED BY THE DRAWINGS AND SPECIFICATIONS BE REDUCED BY ANY CODE OR ORDINANCE. ALL REFERENCES TO CODES SHALL BE TO THE LATEST EDITION.

4. ALL TENDERS SHALL BE BASED ON MATERIALS SPECIFIED, EXCEPT WHERE APPROVAL OF EQUIVALENT PRODUCTS HAS BEEN OBTAINED IN WRITING FROM THE CONSULTANT.

5. NO DEVIATION FROM SPECIFIED MATERIALS SHALL BE ALLOWED, EXCEPT WHERE ALTERNATIVE MATERIALS HAVE BEEN SPECIFICALLY ACCEPTED IN WRITING.

6. WHERE MATERIALS ARE NOT DIRECTLY SPECIFIED BY CATALOGUE NUMBER AND MANUFACTURER'S NAME, A HIGH INDUSTRY SPECIFICATION GRADE PRODUCT SHALL BE PROVIDED. THE CONSULTANT SHALL BE THE SOLE JUDGE OF WHETHER THIS STANDARD IS BEING MET.

### SHOP DRAWINGS

1. SUBMIT SHOP DRAWINGS FOR NEW EQUIPMENT REQUIRED. THESE SHOP DRAWINGS SHALL BE SUFFICIENTLY DETAILED TO PERMIT THE OWNER'S TECHNICIANS TO TROUBLESHOOT AND REPAIR THE EQUIPMENT. EQUIPMENT SHALL NOT BE ORDERED AND/OR FABRICATED UNTIL THE CONSULTANT HAS REVIEWED SHOP DRAWINGS.

2. ALL SHOP DRAWINGS MUST BEAR AN APPROVAL STAMP AND BE SIGNED BY THE CONTRACTOR. THIS REVIEW DOES NOT RELIEVE THIS DIVISION FROM THE RESPONSIBILITY FOR THE FINAL INSTALLATION BEING CORRECT IN ALL DETAIL AND FULLY ACCEPTABLE TO THE CONSULTANT.

3. SHOP DRAWINGS SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING SYSTEMS: 347/600 AND 120/208 VOLT PANELBOARDS, TRANSFORMERS, SWITCHES, FUSES, AND NON-FUSED CONDUITS, CONDUIT RINGS, 200 AMP AND FUSES, WIRING DEVICES, LIGHT FIXTURES, BALLASTS, UNIT EQUIPMENT FOR EMERGENCY LIGHTING, EXT. SIGNAL, REMOTE ACCESS CONTROL SYSTEMS, FIRE ALARM SYSTEMS, COMMUNICATIONS RACKS, COMMUNICATION CABLES AND PATCH PANELS.

### PROGRESS CLAIMS

1. ELECTRICAL PROGRESS CLAIMS SHALL BE BROKEN DOWN INTO TWELVE (12) PARTS TO FACILITATE ASSESSMENT OF WORK DONE AND MATERIAL SUPPLIED. THE BREAKDOWN SHALL INDICATE LABOUR AND MATERIAL, TO THE NEAREST DOLLAR. OVERHEAD, PROFIT AND JOB EXPENSE SHALL BE APPORTIONED TO ALL PARTS. THE BREAKDOWN SHALL BE AS FOLLOWS:

### MAIN SERVICES

#### 1.000 MAIN SERVICES

#### 2.000 MAIN SERVICES

#### 3.000 MAIN SERVICES

#### 4.000 MAIN SERVICES

#### 5.000 MAIN SERVICES

#### 6.000 MAIN SERVICES

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#### 62.000 MAIN SERVICES

#### 63.000 MAIN SERVICES

#### 64.000 MAIN SERVICES

#### 65.000 MAIN SERVICES

CIRCUIT NUMBER FROM WHICH THE PANEL IS FED.

5. NAME PLATES FOR DISCONNECTS SHALL INDICATE EQUIPMENT BEING CONTROLLED AND VOLTAGE.

6. NAME PLATES NAMEPLATES SHALL BE FASTENED TO EQUIPMENT IN A CONSPICUOUS LOCATION WITH SELF TAPPING METAL SCREWS.

7. FEEDER PULL BOXES AND JUNCTION BOXES SHALL BE IDENTIFIED WITH WATERPROOF INK, SHOWING FEEDER OR SYSTEM CONCERNED. CONDUIT ENTERING JUNCTION BOXES OR CONNECTION SYSTEMS SHALL BE IDENTIFIED WITH THE ROOM NUMBER THAT EACH CONDUIT SERVES.

8. BRANCH CIRCUIT IDENTIFICATION SHALL BE PROVIDED ON ALL PLUS-IN-TYPE RECEPTABLES AND LOCAL PANELS, AND SHALL BE IDENTIFIED BY A CLEAR 12MM LAMINATED MARKER TAPE WITH CONTRASTING BLACK LETTERING.

### DEMOLITION

1. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE DEMOLITION OF ALL EXISTING LIGHTING, ELECTRICAL, MECHANICAL, AND ARCHITECTURAL DRAWINGS.

2. ALL SALVAGED MATERIALS SHALL REMAIN THE PROPERTY OF THE OWNER, UNLESS OTHERWISE NOTED, AND SHALL BE STOCKPILED AS PER THE OWNER'S INSTRUCTIONS. THE SALVAGEABLE MATERIALS SHALL BE REMOVED FOR THE PURPOSES OF REUSE, AND UNUSED MATERIALS SHALL BE RETURNED AS PER THE OWNER'S INSTRUCTIONS. THE FOLLOWING MATERIALS SHALL BE SALVAGED AND RETURNED TO OWNER: LIGHTING FIXTURES, WIRING DEVICES, NURSE CALL STATIONS AND COMPONENTS, MEDICAL EMERGENCY ALARM PUSHBUTTON STATIONS AND ASSOCIATED MONITOR MODULES AND COOPERATES, FIRE ALARM FIELD DEVICES.

3. EXISTING LIGHTING FIXTURES AND WIRING DEVICES BEING REMOVED SHALL BE RE-USED/RELOCATED AS SHOWN ON THE FLOOR PLANS. UNUSED FIXTURES AND WIRING DEVICES (SWITCHES, DUPLEX RECEPTABLES) SHALL BE TURNED OVER TO OWNER.

4. ALL ABANDONED CONDUIT, DUCTS, BOXES, WIRE AND CABLE (EXISTING CONDITIONS AND AS A RESULT OF THE RENOVATIONS) SHALL BE COMPLETELY REMOVED BACK TO THE SOURCE OR DISCARDED.

5. ALL EXISTING CEILING POWER DISTRIBUTION (CONDUIT, CABLE, OUTLET BOXES) THAT IS ABANDONED BY THE RENOVATION SHALL BE COMPLETELY REMOVED BACK TO THE EXISTING ELECTRICAL PANELS.

6. ALL EXISTING DATA AND VOICE CABLEING, CONDUITS AND TRAY THAT IS ABANDONED SHALL BE COMPLETELY REMOVED BACK TO THE BIV BLOCS OR DATA RACK, WHICH SHALL REMAIN.

7. EXISTING ELECTRICAL DEVICES ON WALLS NOT AFFECTED BY THE RENOVATION THAT ARE NOT SHOWN ON THE DRAWINGS SHALL REMAIN.

8. WHERE REQUIRED TO BE REMOVED, THE CONTRACTOR SHALL REMOVE ALL EXISTING ELECTRICAL DEVICES SUCH AS RECEPTABLES, SWITCHES, COMMUNICATIONS AND DATA OUTLETS AND FIRE ALARM DEVICES.

9. ALL FIRE ALARM SYSTEM DEVICES REMOVED DURING THIS RENOVATION SHALL BE COMPLETELY REMOVED BACK TO THE NEAREST JUNCTION BOX. DEVICES SHALL BE SALVAGED FOR REUSE IN THE FINAL TAYOUT.

10. ALL EXISTING EXT. SIGNS SHALL REMAIN UNLESS NOTED OTHERWISE.

### FIRE BARRIERS

1. ALL CONDUIT AND CABLE PENETRATIONS IN HORIZONTAL AND VERTICAL FIRE BARRIERS SHALL BE SEALED WITH AN APPROVED FIRE SEAL SYSTEM CONSISTING OF A FIREPROOF GROUT AND/OR SEALANT. ALL FIRE SEALS SHALL COMPLY WITH THE REQUIREMENTS OF THE FIREPROOFING, FIRE COMMISSIONER AND THE LOCAL AUTHORITY HAVING JURISDICTION. COORDINATE WITH GENERAL CONTRACTOR AND CONFIRM FIRE BARRIER LOCATIONS.

2. WHERE POWER OR COMMUNICATIONS CABLE PASSES THROUGH A FIRE BARRIER WITHOUT THE PROTECTION OF CONDUIT, A MULTI-CABLE TRANSIT SHALL BE USED WITHIN THE SLEEVED OPENING, AS MANUFACTURED BY HULT, ITI OR SPECIFICALLY APPROVED.

3. ALL ELECTRICAL OUTLET BOXES INSTALLED IN PARTITIONS IDENTIFIED ON THE ARCHITECTURAL DRAWINGS AS A FIRE BARRIER OR SEPARATION SHALL BE PROTECTED WITH A NON-HARDENING, INTUMESCENT MOUNTABLE FIREPROOF PUTTY COMPOUND. FIREPROOF PUTTY PADS SHALL BE MANUFACTURED BY HULT, STI - SPECIFIED OR APPROVED EQUIVALENT.

4. FIRE PROOFING AND FIRE STOPPING OF ELECTRICAL, RACKWAYS, CABLEING, AND OUTLET BOXES FOR THIS DIVISION SHALL BE A COMPLETE UL/ULC CERTIFIED SYSTEM, AND SHALL BE INSTALLED AS RECOMMENDED BY THE MANUFACTURER'S RECOMMENDED INSTALLATION DETAILS AND PROCEDURES.

### CONDUIT/RACKWAYS/CONNECTIONS

1. CONDUIT FOR ALL POWER, COMMUNICATIONS AND SIGNAL SYSTEMS SHALL BE SUPPLIED AND INSTALLED AS HEREIN SPECIFIED.

2. CONDUIT AND CABLES IN FINISHED AREAS SHALL BE RUN CONCEALED, ABOVE FINISHED CEILING, AND IN WALLS AND PARTITIONS. CONDUIT AND CABLES IN UNFINISHED AREAS SUCH AS ELECTRICAL, MECHANICAL, AND EQUIPMENT ROOMS SHALL BE RUN EXPOSED. ALL CONDUIT/CABLEING SHALL BE RUN AT RIGHT ANGLES OR PARALLEL TO BUILDING LINES AND MECHANICAL EQUIPMENT, WHICH SHALL BE WATER-TIGHT.

3. RUNS OF CONDUIT AND CABLES WHERE SHOWN, ARE INDICATED ONLY GENERAL LOCATION AND ROUTING. CONDUITS AND CABLES SHALL BE INSTALLED TO PROVIDE MAXIMUM HEADROOM AND SPACE WITHIN ACCESSIBLE AREAS. WHERE SPACE IS INDICATED FOR FUTURE EQUIPMENT, LEAVE SPACE CLEAR.

4. CONDUITS SHALL NOT BE INSTALLED WITHIN OR BELOW THE CONCRETE FLOOR OF FLOORS OR WITHIN CONDUITS EXCEPT WHERE SPECIFICALLY NOTED.

5. CONDUIT SHALL NOT BE BENT OVER SHARP OBJECTS. IMPROPERLY FORMED BENDS AND RUNNING THREADS WILL NOT BE ACCEPTED. BENDS AND FITTINGS SHALL NOT BE USED THROUGHOUT.

6. PROPER SUPPORTS OF MANUFACTURED CHANNELS SHALL BE INSTALLED, AND SHALL BE SPACED IN COMPLIANCE WITH THE CANADIAN ELECTRICAL CODE.

7. CONDUIT AND CABLES SHALL BE INSTALLED TO AVOID PROXIMITY TO WATER AND HEATING PIPES. THEY SHALL NOT RUN WITHIN 150MM OF SUCH PIPES, EXCEPT WHERE CROSSINGS ARE UNAVOIDABLE, IN WHICH CASE THEY SHALL BE SEPARATED BY AT LEAST 150MM.

8. CONDUIT SHALL BE OF SUFFICIENT SIZE TO PERMIT EASY REMOVAL OF CONDUITORS AT ANY TIME. CONDUIT SIZES, WHERE SHOWN ON DRAWINGS, ARE MINIMUM AND SHALL NOT BE REDUCED. THE MINIMUM SIZE OF CONDUIT SHALL BE 21MM.

9. ALL EMPTY CONDUIT PROVIDED SHALL BE COMPLETE WITH PULL TWINE.

10. NOT MORE THAN FOUR (4) OR DEGREE BENDS OR EQUIVALENT OFFSETS WILL BE PERMITTED BETWEEN PULL BOXES. WHEN MAXIMUM NUMBER OF BENDS IS USED, THE TOTAL RUN BETWEEN PULL BOXES SHALL NOT EXCEED 150M.

11. ANCHOR BOXES OR CABLE ANCHOR BOXES SHALL BE INSTALLED WHEREVER NECESSARY FOR PROPER PULLING OR ANCHORING OF CABLES. THEY SHALL BE INSTALLED TO BE ACCESSIBLE AFTER BUILDING IS COMPLETED, AND SHALL BE SET TO COME WITHIN FINISHED LINES OF THE BUILDING.

12. CONDUIT TO OUTLETS BOXES SHALL NOT BE RUN HORIZONTALLY WITHIN WALLS. ALL CONNECTIONS SHALL BE MADE VERTICALLY THROUGH THE WALL STRUCTURE.

13. EXT. COUPLINGS AND CONNECTORS SHALL BE SET-SCREW TYPE EXCEPT IN ELECTRICAL, MECHANICAL, COMMUNICATION, AND SPRINKLER ROOMS, WHICH SHALL BE WATER-TIGHT.

14. CONDUIT AND EXT. CONNECTORS SHALL BE OF THE INSULATED THROAT TYPE.

15. ALL CONDUITS SHALL BE TERMINATED WITH A SATISFAE BUSHING TO PROTECT CONDUITORS OR CABLE FROM ABRASION.

16. EXT. ENTERING BOXES OR ENCLOSURES SHALL BE TERMINATED WITH NYLON INSULATED CONCRETE TIGHT CONNECTORS.

17. PVC CONDUIT AND NON-METALLIC TUBING SHALL NOT PASS THROUGH A FIRE PARTITION OR FLOOR SEPARATION, WHERE IT IS NECESSARY FOR PVC CONDUITS OR NON-METALLIC TUBING TO PASS THROUGH A FIRE BARRIER, A HULT FIRE STOP CABLE SHALL BE PROVIDED. CONDUITS SHALL NOT BE USED FOR FIRE BARRIER. ALSO, PVC CONDUIT AND NON-METALLIC TUBING SHALL NOT BE USED IN RETURN AIR PLenums.

### CONDUITS

1. ALL CONDUITORS SHALL BE COPPER AND MINIMUM #12 AWG (COPPER). ALL CONDUITORS #12 AWG TO #8 AWG SHALL BE RATED FOR MINIMUM 600V RW-90 ULTE. CONDUITORS #8 AWG AND LARGER SHALL BE RATED FOR MINIMUM 1000V RW-90 ULTE. WIRING IN CHANNEL, BACK OF FLOURESCENT FIXTURES SHALL BE 900V TYPE OF OR LARGER SIZE, GRADE OF INSULATION, VOLTAGE AND MANUFACTURER'S NAME SHALL BE MARKED AT REGULAR INTERVALS.

2. CONDUITORS SHALL BE COLOR CODED. CONDUITORS #8 AWG AND SMALLER SHALL HAVE COLOR IMPRINTED INTO INSULATION AT THE POINT OF MANUFACTURE. CONDUITORS SIZE NO. 1 AWG AND LARGER MAY BE COLOR CODED WITH ADHESIVE COLOR CODING TAPE, BUT ONLY BLACK INSULATED CONDUITORS SHALL BE EMPLOYED IN THIS CASE, EXCEPT FOR NEUTRALS, WHICH SHALL BE WHITE WHENEVER POSSIBLE. COLOR CODING SHALL ALSO APPLY TO BUSING IN PANELS. COLOR CODING SHALL BE AS FOLLOWS:

PHASE 'X' - RED GROUND - GREEN OR BARE  
PHASE 'Y' - BLACK NEUTRAL - WHITE  
PHASE 'Z' - BLUE/CONTROL - ORANGE

3. HOME RUNS TO 120/208 VOLT LIGHTING AND RECEPTABLE PANELS WHICH EXCEED 30000 MM IN LENGTH SHALL BE MINIMUM NO. 10 GAUGE.

4. BRANCH CIRCUIT CONDUITORS SHALL BE SIZED TO PERFORM AT A MAXIMUM VOLTAGE DROP OF 3% BASED ON THE CIRCUIT LOAD OF BOX OF THE CIRCUIT PROTECTIVE DEVICE.

5. ALL CONDUCTOR SIZES SHOWN ARE BASED ON THE 750C AMPACITY RATING OF THE CANADIAN ELECTRICAL CODE DUE TO THE VARYING ELECTRICAL EQUIPMENT TERMINATION RATINGS. ELECTRICAL CONTRACTOR MAY REVERSE CONDUCTOR SIZES BASED ON 900C RATINGS, BUT IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE TERMINATION RATINGS FOR ALL EQUIPMENT IS COORDINATED WITH THE APPROPRIATE CONDUCTOR AND BONDING AMPACITY RATING AS REQUIRED BY THE C.E.C. CONTRACTOR SHALL CONFORM WITH THE CONSULTANT THAT THEY ARE USING 90 DEGREE LUSS AND CABLE PRIOR TO INSTALLATION.

6. WHERE CONDUCTOR SIZES ARE SHOWN ON DRAWINGS THEY HAVE BEEN BASED ON A MAXIMUM OF 3 HOT CONDUCTORS INSTALLED IN A CONDUIT. THESE CONDUCTOR SIZES ARE BASED ON TABLES IN C.E.C. WHERE ADDITIONAL CONDUCTORS ARE INSTALLED WITHIN A CONDUIT CONDUCTOR SIZES MAY NEED TO BE INCREASED TO REFLECT THE NEW CORRECTION FACTOR. FOR ALL CONDUCTORS EXCEEDING 15A CONDUCTOR SHALL CONFORM WITH THE CONSULTANT ALL NECESSARY INCREASES IN CONDUCTOR SIZES REQUIRED PRIOR TO INSTALLING MORE THAN 3 CONDUCTORS IN A CONDUIT. IN NO CASE UNLESS APPROVED BY THE CONSULTANT SHALL MORE THAN 8 HOT CONDUCTORS BE INSTALLED IN ONE CONDUIT.

7. CONDUCTORS SHALL BE INSTALLED WITHIN BUT UNLESS NOTED OTHERWISE, TECK CABLE AND FLEXIBLE ARMoured CABLE MAY BE INSTALLED ONLY WHERE SPECIFICALLY INDICATED ON DRAWINGS OR SPECIFICATIONS OR WHERE THE BUILDING CONSTRUCTION DOES NOT ALLOW FOR INSTALLATION OF CONDUIT OR RACKWAY. THE USE OF TECK AND FLEXIBLE ARMoured CABLES SHALL BE APPROVED BY THE CONSULTANT PRIOR TO INSTALLATION.

8. FLEXIBLE ARMoured CABLE SHALL BE TYPE 4030 WITH INTERLOCKING ARMOUR FABRICATED FROM ALUMINUM STRIP. CONDUCTORS SHALL BE COPPER WITH RW90 INSULATION. ARMoured CABLE SHALL BE USED ONLY WHERE INDICATED.

9. FLEXIBLE ARMoured CABLE MAY BE INSTALLED FOR MOTOR CONNECTIONS AND FROM CEILING JUNCTION BOXES TO LIGHT FIXTURES.

10. FLEXIBLE ARMoured CABLE MAY BE INSTALLED IN FINISHED WALLS OR CEILING WHERE WIRING IS TO BE FISHED AND IS IMPROBABLE TO INSTALL CONDUIT AND FLEXIBLE ARMoured CABLES SHALL BE USED ONLY WHERE INDICATED.

11. FLEXIBLE ARMoured CABLE SHALL NOT BE EXPOSED OR INSTALLED HORIZONTALLY WITHIN WALLS.

12. ALL CONNECTIONS TO SWITCHES, OUTLETS, ETC. SHALL BE MADE VERTICALLY THROUGH THE WALL STRUCTURE.

13. TERMINATION FOR #8 AWG AND LARGER SHALL BE BY MEANS OF APPROVED SOLDERLESS CONNECTOR LUG. FOR PARALLEL CONDUCTORS, A COMMON LUG WITH SEPARATE TERMINATION FOR EACH CONDUCTOR SHALL BE EMPLOYED.

14. WIRE SHALL BE AS MANUFACTURED BY NEUMANS OR BCC GENERAL WIRE.

### OUTLET BOXES

1. PROVIDE OUTLET BOXES SUITABLE FOR THE APPLICATION AND LOCATION OF THE DEVICES. ALL BOXES SHALL BE SIZED IN ACCORDANCE WITH CSA C22.1.

2. ALL OUTLET BOXES FOR COMMUNICATIONS SYSTEMS SHALL BE 100MM SQUARE OUTLET BOXES WITH EXTENSION AND PLASTER BRIMS FOR FLUSH MOUNTING DEVICES IN FINISHED WALLS.

3. EACH OUTLET BOX INSTALLED IN STEEL STUD AND STEEL WALLS SHALL BE MOUNTED ON CADDY (RHA SERIES 508 OR 1008 SCREW GUN BRACKETS. WOOD STRAPPING WITH STEEL STUDS SHALL NOT BE UTILIZED FOR SUPPORTING OUTLET BOXES.

4. EACH OUTLET BOX INSTALLED IN ACOUSTIC TILE CEILING SHALL BE MOUNTED ON DOUBLE CADDY "TEE BAR HANGER" #512 IN SUCH A MANNER THAT THE OUTLET BOX WILL NOT TWIST IN ANY DIRECTION.

5. WHERE BOXES ARE SURFACE MOUNTED IN UNFINISHED AREAS, SUCH AS CUPBOARDS OR BOILER ROOMS, STAMPED GALVANIZED STEEL 150 MM SQUARE BOX TO ACCEPT #800 SERIES WASH COVERS SHALL BE USED.

6. PROVIDE BLANK COVER PLATES FOR BOXES WITHOUT WIRING DEVICES.

7. WHERE SURFACE WIRING METHODS ARE ALLOWED AND APPROVED IN FINISHED AREAS, USE HUBBELL OR WIREMOLD BOXES AS PER DRAWINGS (C/W SUITABLE ADAPTER FOR WIREWAY ENTRANCE).

### COVERPLATES

1. METAL WALL PLATES SHALL BE PROVIDED FOR ALL SWITCHES, RECEPTABLES, BLANKS, TELEPHONE AND SPECIAL PURPOSE OUTLETS. THE WALL PLATES SHALL BE OF SUITABLE CONFIGURATION FOR THE DEVICE FOR WHICH IT IS TO COVER WITH COLOR MATCHED MOUNTING SCREWS. USE GANGED PLATE WHERE MORE THAN ONE DEVICE OCCURS AT ONE LOCATION. METAL WALL PLATES SHALL BE STAINLESS STEEL.

2. BLANK COVER PLATES IN FINISHED CEILING AREAS SHALL BE COLUMBIA ELECTRIC #9002 BAKED WHITE ENAMEL FOR WHITE CEILING, OR PAINTED TO MATCH COLORED FINISHES.

3. WHERE SURFACE WIRING METHODS NEED TO BE EMPLOYED IN A HIGH FINISH AREA, STAINLESS STEEL WALL PLATES SHALL BE USED IN CONJUNCTION WITH WIREMOLD SURFACE BOX TO SUIT THE DEVICE.

### CONVENIENCE OUTLETS & SWITCHES

1. CONVENIENCE OUTLETS SHALL BE WHITE, SPECIFICATION GRADE